

THE VILLAGE

SANTA ANA

SPECIFIC PLAN

SP-X | Adopted XX, 20XX

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ACKNOWLEDGMENTS

PREPARED FOR:

City of Santa Ana



APPLICANT:

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- Appendix F: Alcohol Sales

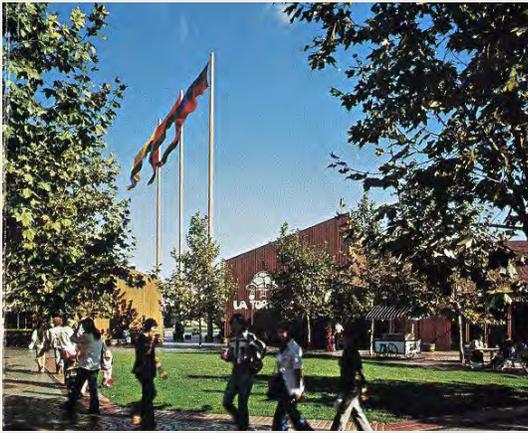
Appendices B-E will be compiled throughout the Specific Plan process and made for public review available prior to Specific Plan Adoption.



CHAPTER ONE

INTRODUCTION

Figure 1-1: Historic Images



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1.1 Introduction

The Segerstrom family has had a longstanding and impactful presence in Santa Ana and the broader Orange County community. Since 1898, generations of the Segerstrom family have attended schools, raised children, and participated in local organizations in Santa Ana while maintaining a thriving family business. After decades of acquiring parcels for growing lima beans and raising dairy cattle, they recognized the uniqueness of the land and set about transforming former agricultural fields into vibrant centers of commerce and culture. One such project, South Coast Village, came to life in 1973 as an award-winning collection of 70 shops and restaurants, each with its own personal character, clustered around the “Village Green” in an open-air environment with cobblestone streets and an old-world look furnished by lamp posts imported from London. Figure 1-1, *Historic Images*, provides photographs documenting the history of the area.

As the family continues its stewardship of the land, they will improve many of the original elements—a central green space, four-sided architecture, abundant landscaping—in building the Village Santa Ana (the Village). In conjunction with the City of Santa Ana’s vision for the South Bristol Street Focus Area, the Village is planned as a mixed-use project that reimagines how the community lives, works, and recreates in Central Orange County.

1.2 Overview

The Village is located along the southern edge of the City of Santa Ana (City), adjacent to the City of Costa Mesa, as shown on Figure 1-2, *Regional Location*. The site can be accessed from Interstate 405 via the Bristol Street exit, State Route 55 via local streets, or State Route 73 via the Bear Street exit. The Village site is approximately 17 acres.

Figure 1-2: Regional Location

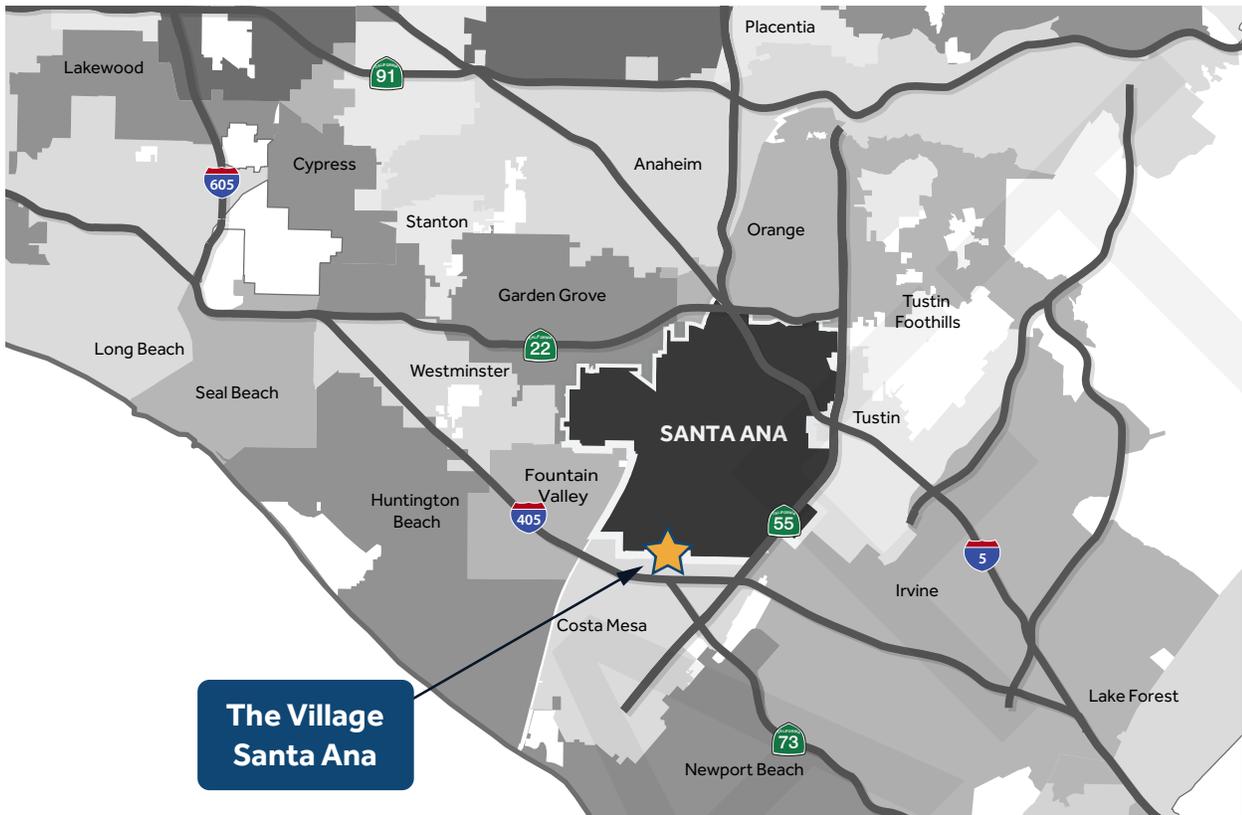
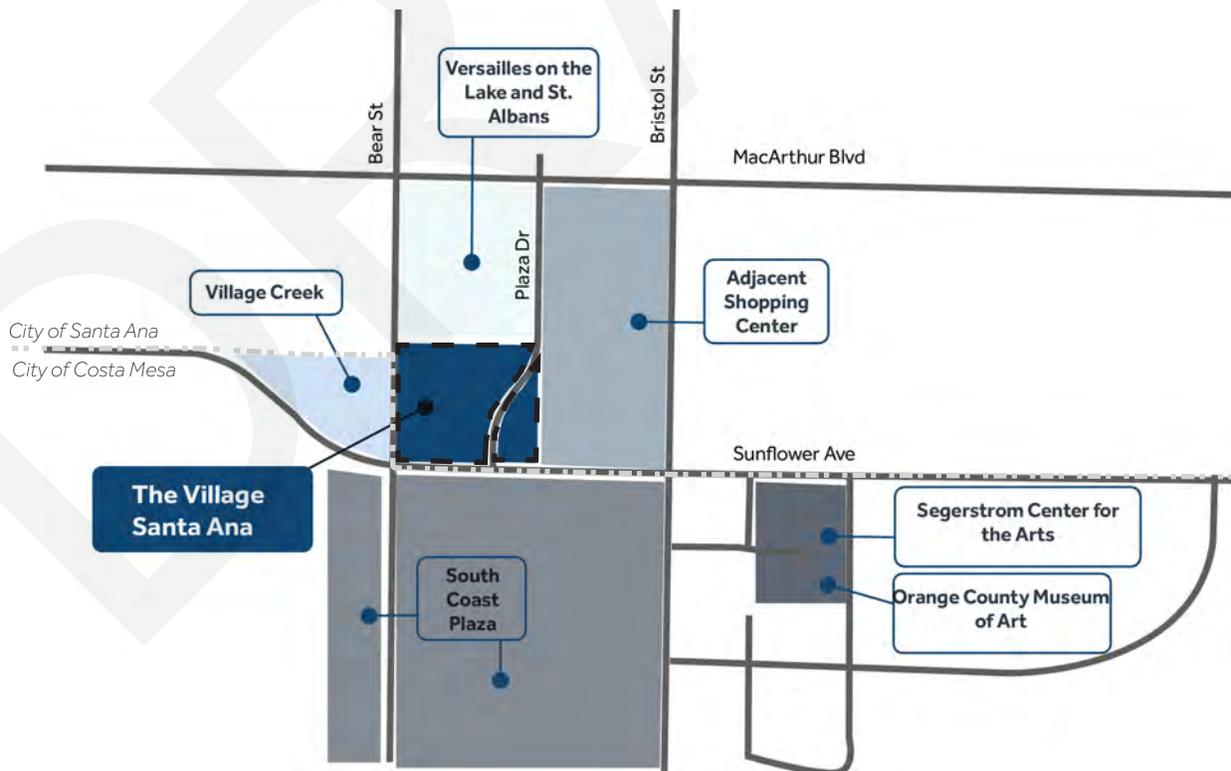


Figure 1-3: Local Vicinity





1.3 Location and Existing Uses

The Village site is approximately 17 acres at the northeast corner of Sunflower Avenue and Bear Street and is transected by South Plaza Drive. Details about the parcels that make up the planning area are provided in Table 1-1, *Existing Property Information*. Figure 1-3, *Local Vicinity*, highlights the site’s location and the nearby points of interest in both Santa Ana and Costa Mesa. Adjacent properties include the multi-family housing communities of Versailles on the Lake and St. Albans to the north and a retail shopping center to the east. To the west across Bear Street, in Costa Mesa, is a condominium community called Village Creek. To the south across Sunflower Avenue is South Coast Plaza, also in Costa Mesa.

Originally built in the early 1970s, the South Coast Plaza Village shopping center was designed as a walkable, outdoor collection of theater, retail and restaurant tenants connected by cobble-stone and landscaped paths. The design, character

and configuration of the buildings largely reflect the era in which they were initially constructed. Existing uses include restaurants, retail, offices, and a movie theater. Access is provided to the site from three public roads: Sunflower Avenue, Bear Street, and South Plaza Drive. The property also provides surface parking, a variety of trees, and a half-acre open space lawn area. See Figure 1-4, *Existing Site Photos*, and Figure 1-5, *Existing Land Use*.

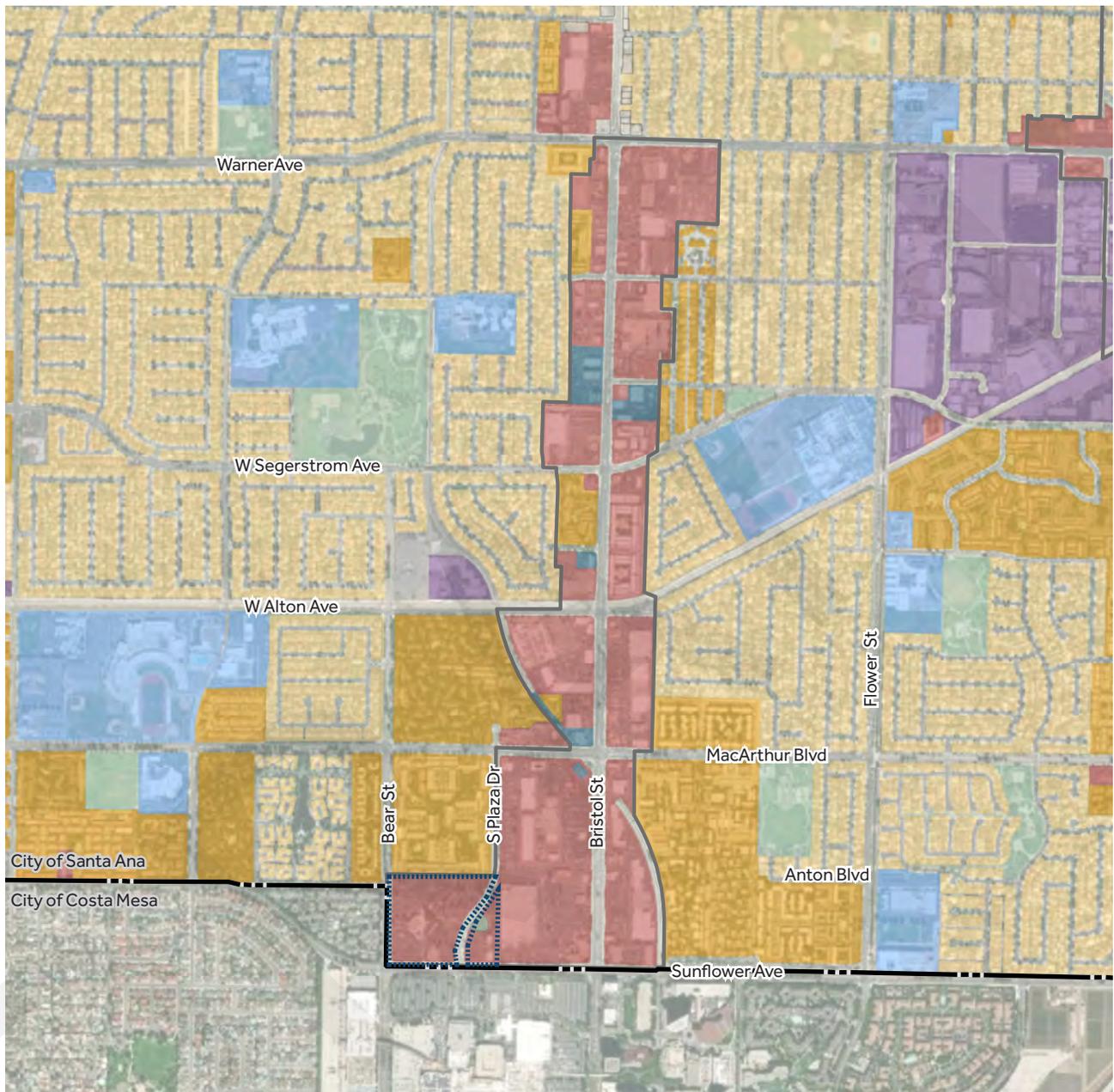
Table 1-1: Existing Property Information

Assessor Parcel Number	Existing Use/Tenant	Acres
412-131-10	Regency Theater	0.8
412-131-20	Open Space	0.5
412-131-21	Surface Parking	1.9
412-451-01	Surface Parking	1.6
412-451-02	Multiple Retail Units	4.7
412-451-03	Multiple Retail Units	7.3
412-451-04	Morton’s Steakhouse	0.4
Total:		17.2

Figure 1-4: Existing Site Photos



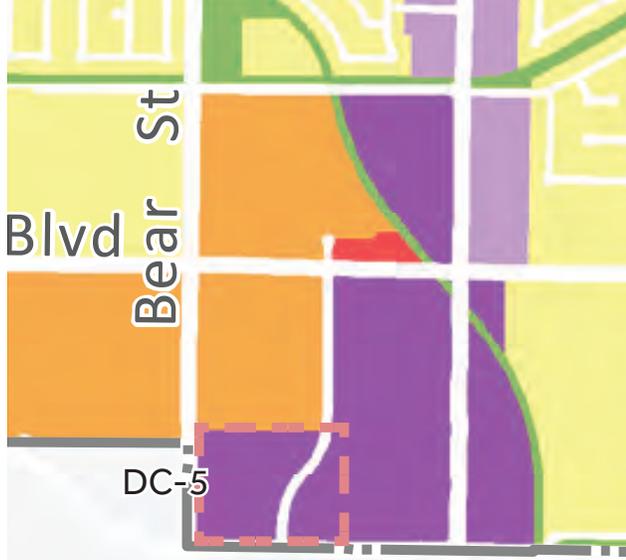
Figure 1-5: Existing Land Use



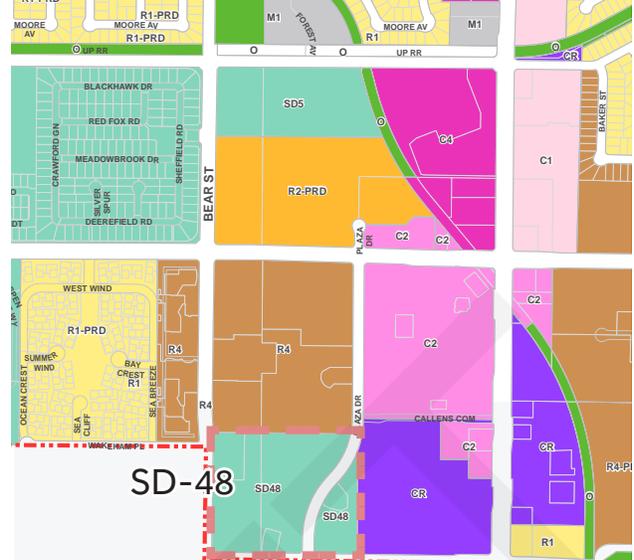
Source: SCAG, 2019 and City of Santa Ana

LEGEND

- | | |
|---|--|
|  Single Family Residential |  Institutional (School, Church, etc.) |
|  Multi Family Residential |  Government or Special Use Facility |
|  Office |  City Focus Areas |
|  Retail/Commercial |  Site Boundary |
|  Industrial |  City Boundary |
|  Open Space/Park | |



The City's 2022 General Plan designates the Village as District Center High (DC-5).



Existing zoning for the site is Specific Development Plan Number 48 (SD-48).

1.4 General Plan

The City's 2022 General Plan Land Use Element designates the area as District Center-High (DC-5) within the South Bristol Street Focus Area. Development in the DC-5 designation is intended to provide urban retail, residential, mixed-use, and employment centers with an intensity of up to 5.0 floor area ratio (FAR) and/or 125 dwelling units per acre. Mixed-use projects may be vertical or horizontal. The area also has a maximum height of 25 stories.

The adoption of the 2022 General Plan—with new focus areas—provides the foundation to transform the South Bristol Street Focus Area. Improvements are envisioned to include:

- » New developments that will establish vibrant public outdoor space appropriately scaled to the size and type of project.
- » Building design that should be dynamic and strong, creating a distinct impression.

- » Office and mixed-use spaces of similar scale to those south of Sunflower.

This Specific Plan is consistent with and was guided by the goals and policies of the City of Santa Ana 2022 General Plan. Appendix B, General Plan Consistency, provides more information about the relationship of the goals and policies of the City's General Plan and this Specific Plan.

1.5 Existing Zoning

The most recent zoning for the site was Specific Development Plan Number 48, which was adopted in 1989 and was last amended in 1997. This Specific Plan not only replaces SD-48 as the Zoning for the Village, but also supersedes the Interim Development Standards provided in Appendix A of the 2022 General Plan Land Use Element. This Specific Plan (SP-[X]) contains the development standards, permitted uses and administrative processes for future development. SP-[X] is the implementation tool for development in this area.

1.6 Plan Authority and Purpose

The authority for adoption of a specific plan is vested with the City of Santa Ana pursuant to Section 65453(a) of the California Government Code.

Furthermore, Section 65451 of the Government Code requires that a specific plan include text and diagrams that specify:

- » The distribution, location, and extent of the uses of land, including open space, in the area covered by the plan.
- » The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed within the area covered by the plan and needed to support the land uses described in the plan.
- » Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- » A program of implementation measures, including regulations, programs, infrastructure projects, and financing measures necessary to execute the plan.

Consistent with state law, this Specific Plan has been adopted by ordinance effectively becoming the zoning regulation for the Village—as authorized by Chapter 41, Division 26, Section 4913 et seq., of the Santa Ana Municipal Code—subject to the standards and regulations in this plan for the express purpose of establishing land use regulations and standards. All other applicable chapters, articles, and sections of the Santa Ana Municipal Code shall apply unless expressly waived or superseded by this plan.

This specific plan replaces Specific Development No. 48 Amended Application 1017 NS-1997. The Village Santa Ana, SP-[X], was adopted by ordinance on [XXXX XX, 2023].

In addition to implementing the goals of the South Bristol Street Focus Area, this Plan establishes a vision for redevelopment of the site. It is a regulatory framework for this redevelopment, including but not limited to uses, site circulation, development and design standards, and plan administration.



1.7 Specific Plan Organization

Each chapter of the Specific Plan addresses a key component of the framework for future development. The plan is divided into six chapters, with supporting appendices.

Chapter 1, Introduction. Provides an overview of the Specific Plan, including the project setting and background; purpose; authority; and relationship to other relevant plans, programs, and regulations.

Chapter 2, Vision and Guiding Principles. Describes the vision and guiding principles for the project, along with key features of the urban design and placemaking elements.

Chapter 3, Development Plan. Establishes the land use plan, buildout summary, and permitted uses for the site. This chapter also describes the open space and landscape concept; pedestrian, bike, and vehicular circulation; and infrastructure such as water, sewer, and storm drain.

Chapter 4, Development Regulations. Provides permitted uses and development standards. The standards of this chapter include building form, setbacks, building orientation, and open space standards. Density and intensity for development, parking standards, and signage are also regulated by this chapter.

Chapter 5, Design Guidelines. Complementary to Chapter 4, this chapter contains the guidelines related to the design of the site and buildings. This chapter also contains information about architectural materials and landscape inspiration, including street trees.

Chapter 6, Administration and Implementation. Establishes the responsibility, enforcement, and interpretation of this plan. Other topics include the project review process, modifications, and specific plan amendments. Phasing and implementation are covered in this chapter, including timing for improvements as well as funding.

Appendix A: Definitions

Appendix B: General Plan Consistency

Appendix C: Fiscal Impact or Market Study

Appendix D: Outreach

Appendix E: Civil Utility Layout Sheet

Appendix F: Alcohol Sales

1.8 Relationship to Other Plans, Agencies, and Regulations

As previously noted in Sections 1.4, *General Plan*, and 1.5, *Existing Zoning*, this Specific Plan is consistent with the City of Santa Ana's local planning documents. The following describes the regulatory setting of other planning documents and programs or agencies with regulatory oversight that influenced this Plan and that should continue to be consulted throughout implementation of this Plan.

City of Santa Ana Arts and Culture Master Plan, 2022

The Arts and Culture Master Plan is a framework to foster arts and culture in the City over the next decade. The goals and



initiatives in the plan were consulted in the creation of the Village Santa Ana Specific Plan and will continue to be referenced as concepts are implemented for the Village. Considerations not only include the incorporation of art, but also plan for the creative workforce. The retail village of this specific plan will be a unique area where entrepreneurs can establish their next restaurant, retail space, and/or other innovative ideas for the community.

Related California Bristol Specific Plan, Draft 2022

The 42-acre site to the east of the Village has prepared a specific plan to redevelop the property. Improvements include 3,750 residential units, up to 350,000 square feet of commercial space, and a hotel and senior living uses. The Village shares an access road from Sunflower Avenue, designated a Neighborhood Street (tertiary) by the Related Bristol Specific Plan. The two specific plan areas are in the South Bristol Street Focus Area designated by the General Plan and are subject to the same density and intensity, including a maximum building height of 25 stories.

City of Santa Ana Active Transportation Plan (ATP), 2019

The ATP provides goals, programs, and actions to improve nonmotorized travel infrastructure, increase safety, and increase cycling and walking as travel modes. Features of the Village, such as the fitness loop and bicycle amenities, help to implement the ATP and promote an active lifestyle for residents and visitors. Connections to other improvements identified by the ATP are further discussed in Chapter 3, Section 3.4, *Mobility Plan*.

Orange County Transportation Authority Long Range Transportation Plan (LRTP), 2045

OCTA designates Sunflower Avenue and South Plaza Drive as part of its transit network. The LRTP is in the process of being updated and should continue to be consulted as plans are made for OCTA's transportation network.



Southern California Association of Governments, Connect SoCal: 2020-2045 Regional Transportation Plan/ Sustainable Communities Strategy

The Connect SoCal Plan is a long-range, regional plan that balances future mobility and housing needs with economic and environmental goals. The Village site falls within a “high quality transit corridor” area, which means the site is within one-half mile of a well-served transit stop or a transit corridor with 15-minute or less service frequency during peak commute hours. This connection to transit options informed the mobility plan of Chapter 3.

Airport Land Use Commission, Airport Environs Land Use Plan for John Wayne Airport, 2008

State law Section 65302.3 requires a City’s general plan and specific plans be consistent with the county’s Airport Environs Land Use Plan (AELUP). The purpose of the AELUP is to safeguard the general welfare of inhabitants in the vicinity of the airport and to ensure the continued operation of the

airport. An infill project must comply with all applicable policies and associated mitigation measures—e.g., sound attenuation, height limitation, occupancy limits must be found consistent with the AELUP. Since the Village is within the AELUP airport planning area, Chapter 6, *Administration and Implementation*, addresses coordination with the City and commission.

1.9 Environmental Clearance

The Village Santa Ana Specific Plan was adopted in compliance with the requirements of the California Environmental Quality Act (CEQA) (California Public Resources Code Sections 2100 et seq.). A Supplemental Environmental Impact Report (EIR) to the City’s 2022 General Plan Program EIR has been prepared for the Village Santa Ana Specific Plan in accordance with Sections 15162 and 15163 of the State CEQA Guidelines and certified concurrently with adoption of the Specific Plan.



CHAPTER TWO

VISION & GUIDING PRINCIPLES

"I believe in my own heart that in our lifetimes, we are put on earth to do more than just make ourselves happy. Be bold—do something to help others. Now is the time for us to pay ahead for future generations to enjoy."

—Henry T. Segerstrom



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2.1 Vision Statement

The Village Santa Ana will be an extension of the Segerstrom family’s high-quality work and legacy over the last 125 years—promoting community-centered investments that support local culture and organizations and encourage successful business development. The Village will continue to be a good neighbor in the Santa Ana community while addressing the desire in Orange County for an active and vibrant outdoor-oriented environment. The Village Santa Ana is a place that:

- » Fosters a neighborly environment where residents can live, work, and recreate in a vibrant village community.
- » Anchors Santa Ana’s South Bristol Street Focus Area as envisioned by the City, which is to transform conventional auto-oriented shopping plazas into dynamic nodes of activity that blend healthy living, working, shopping, and dining in a contemporary village environment.
- » Captures Orange County’s indoor-outdoor lifestyle through attention to detail in the design of buildings, selection of materials, infusion of nature in outdoor spaces, and the activities offered in the Village.
- » Builds on the foundation of this dynamic area through new experiences in food, fitness, and artisan retail.
- » Complements the successful South Coast Metro area with a diversity of new housing in a jobs-rich environment.
- » Attracts the innovative and start-up culture of Orange County and provides thoughtfully designed spaces to create and showcase new offerings.
- » Complements and doesn’t compete with the emerging business environment of Downtown Santa Ana.



2.2 Guiding Principles

The vision for the Village will be realized through the implementation of the Specific Plan. The site plan, mix of uses, architectural design and landscape concepts, and development regulations have been created based on the six guiding principles that follow, along with a description of how each will be achieved.

Principle #1: Village in a Park



The Village will offer a unique setting for shopping, dining, and accessing daily services. Unlike traditional commercial centers dominated by surface parking, this neighborhood village will be the hub of activity, designed within a parklike setting that creates an intimate and relaxing environment.

Principle #2: Warm and Timeless Architectural Design



Through human-scale design elements, selection of warm materials, four-sided architecture, and places for terrace gardens and green walls, the design of the buildings will work holistically with the landscaping and parklike village atmosphere.



Principle #3: Diversity of Outdoor Spaces and Activities at Multiple Levels



People who visit or live at the Village will find a multitude of unique outdoor spaces for strolling, reading, dining, meeting friends, exercising, and playing. The retail village common areas may be programmed for recurring activities such as movie nights, seasonal events, exercise options such as outdoor yoga, family nights, and other opportunities for nearby residents. Ground-level residential amenities in the buildings surrounding the retail village will open to the village square and have amenitized open space as their front yard. Rooftops, terraces, and balconies will overlook the activities at the ground level and offer an array of amenities for residents.

Principle #4: An Extension of the Arts



There is an array of indoor and outdoor art installations on Segerstrom properties and others in the area that can virtually or physically become part of an art walk (such as Noguchi's California Scenario, Serra's Connector, and Perry's The Ram). The Village Santa Ana will be an extension of the art walk, showcasing art works in the form of landscaping, stand-alone art pieces, and local artisan retail. Distinctive architecture and high-quality materials will contribute to the character of the Village.



Principle #5: Activated Streets

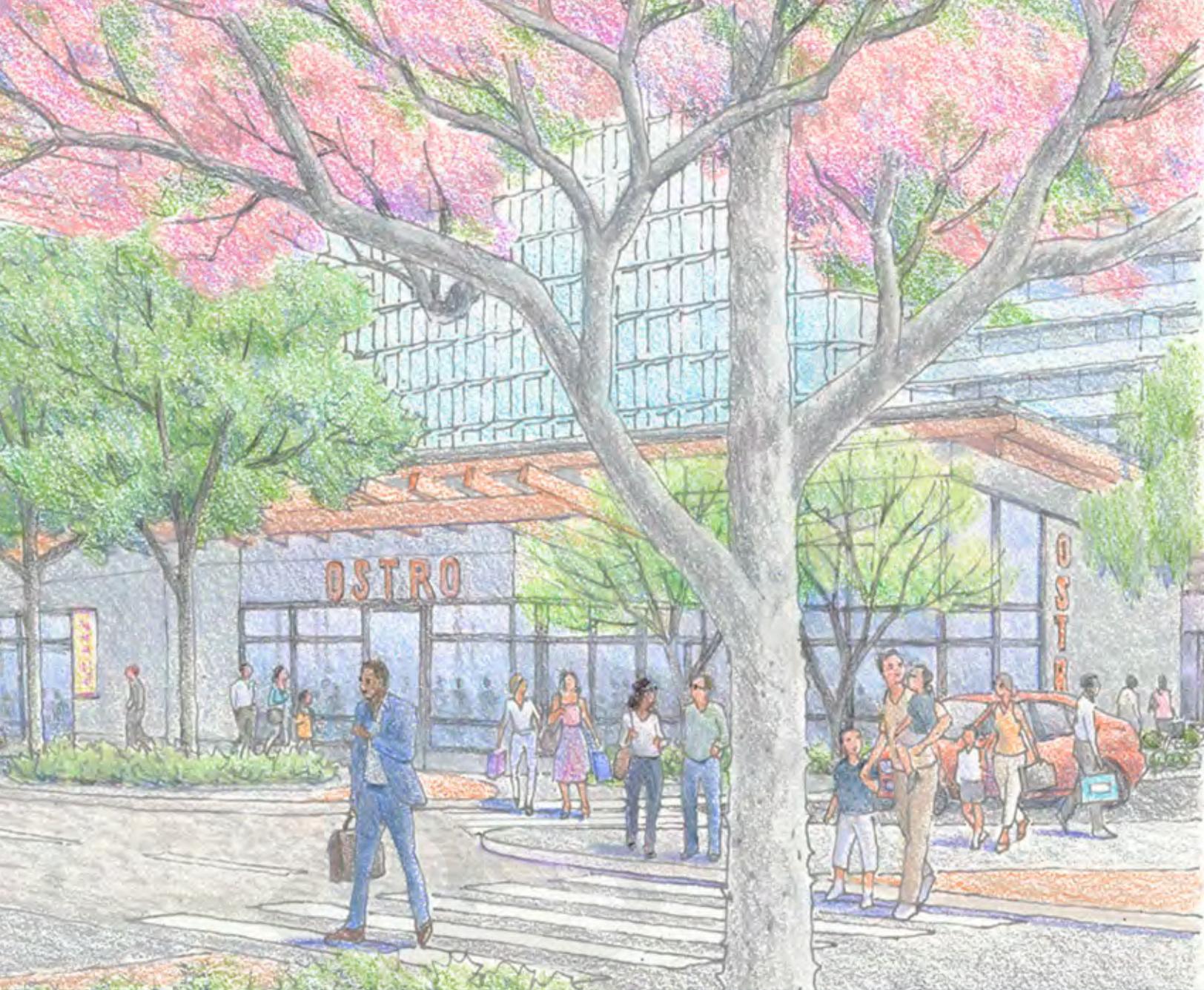


Contrasted with the existing site layout, new residential and commercial buildings will orient toward the streets and retail village and provide easy access for pedestrians. The streetscape and building setbacks along Sunflower Avenue, South Plaza Drive, Bear Street, and internal project roads will be designed with a cohesive palette of drought-tolerant plants with unique characteristics, brightly colored flowers, and a mix of succulents and trees.



Principle #6: Sustainable Foundation

Planning, design, and development of The Village Santa Ana is rooted in sustainability. Like prior generations, this new development will aim to protect and care for the land. Best practices for reduced energy and water consumption, sustainably sourced materials, and integration of pervious surfaces along with thoughtful plant selection will support on-site water retention for this green village community. All of these features and more will ensure a lasting, sustainable development for generations to come.



CHAPTER THREE

DEVELOPMENT PLAN

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3.1 Introduction

The development plan for the Village includes land use, open space, mobility, and infrastructure plans that are the foundation for creating this distinctive community. Consistent with the Specific Plan's guiding principles in Chapter 2, the objectives of the development plan are to:

- » Create an activity center that will be the heart of the Village, allowing for commercial, retail, and open spaces that provide a unique place in a parklike setting.
- » Provide diverse open-space options in both publicly accessible and private community areas that enhance the Village with active and passive spaces.
- » Deliver attractive and active streetscapes that provide safe circulation options for everyone who lives, works, and visits in the Village.
- » Employ best practices for infrastructure development, ensuring that water, sewer, and other utilities are responsibly and adequately supplied.

The following sections of this chapter provide the plans for land use, open space, mobility, infrastructure, utilities, and public services.

3.2 Land Use Plan

The land use plan is the basis for establishing the range of uses, maximum buildout, and development standards for the Village. The Village is a mixed-use community that allows for vertical and horizontal mixed use across the site. As shown on Figure 3-1, *Proposed Land Use Plan*, a variety of residential, commercial, and community uses are planned throughout the Village. A central commercial area in a park setting allows for restaurants and retail uses to activate the area during both day and night. A continuation of those commercial uses is encouraged at the ground floor of adjacent residential buildings. Parking would be readily available in at-grade and underground structures. Figure 3-2a, *Conceptual Site Plan*, depicts how the plan could be implemented. As noted in the figure, various commercial uses, including

restaurants, retail shops, and a market, may enhance the plaza and create a sense of place at the heart of the Village. Stand-alone residential and mixed-use buildings provide a variety of housing opportunities for residents who seek a unique community in the City’s South Bristol Focus Area.

3.2.1 Maximum Buildout

The maximum buildout for the Village is provided in Table 3-1, *Land Use Statistical Summary*. This Specific Plan allows up to 1,583 dwelling units, 80,000 square feet of commercial space, 300,000 square feet of office, and over 3.6 acres of open space. Chapter 4, *Development Regulations*, provides more detail regarding permitted uses and development standards for each use.

Table 3-1: Land Use Statistical Summary

Uses ¹	Development	Site Size
Residential	1,583 units (maximum)	17 Acres
Commercial	80,000 sq ft (maximum)	
Office	300,000 sq ft (maximum)	
Open Space²	158,300 sq ft (approximately 3.6 acres, minimum)	

Notes:

1. Uses are permitted as vertical and/or horizontal mixed use.

2. Open Space areas consist of passive and active areas as defined by the City of Santa Ana 2022 Housing Element.

Figure 3-1: Proposed Land Use Plan

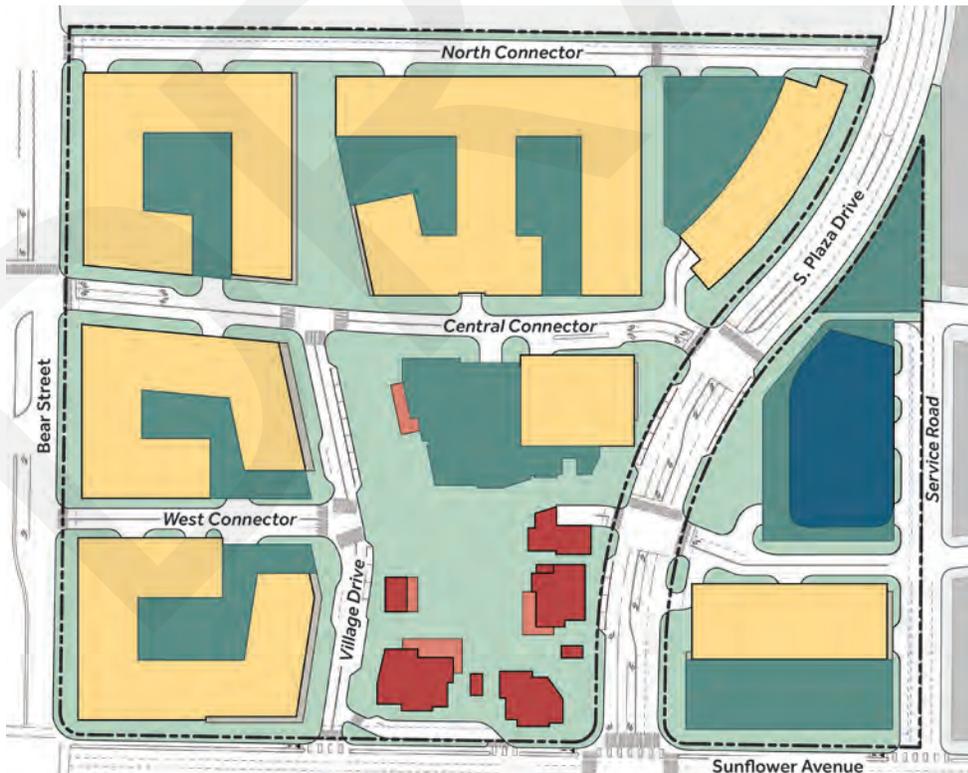
Ground Level



LEGEND

- Residential
- Office
- Retail/Commercial
- Retail/Commercial Patios
- Private Open Space
- Open Space
- Parking
- Site Boundary

Rooftop



Source: Gensler, PlaceWorks



3.2.2 Housing

The City of Santa Ana encourages a variety of housing types to meet the needs of all residents. Santa Ana has historically had demand for units that can accommodate larger families. Consistent with the goals and policies of the City’s Housing Element this Specific Plan encourages a variety of unit sizes, ranging from studios to 3 bedrooms. As provided in Table 3-1, *Statistical Summary*, the Plan allows for a maximum of 1,583 residential units. Final unit mix will be based on local market demand as the Village is built out.



The City of Santa Ana’s housing opportunity ordinance (HOO), Article XVIII.I of the Santa Ana Municipal Code, 2021 Affordable Housing Opportunity and Creation Ordinance, establishes standards and procedures to encourage housing that is affordable to a range of households at various income levels. Affordable housing is described in the Development Agreement that accompanies this Specific Plan.

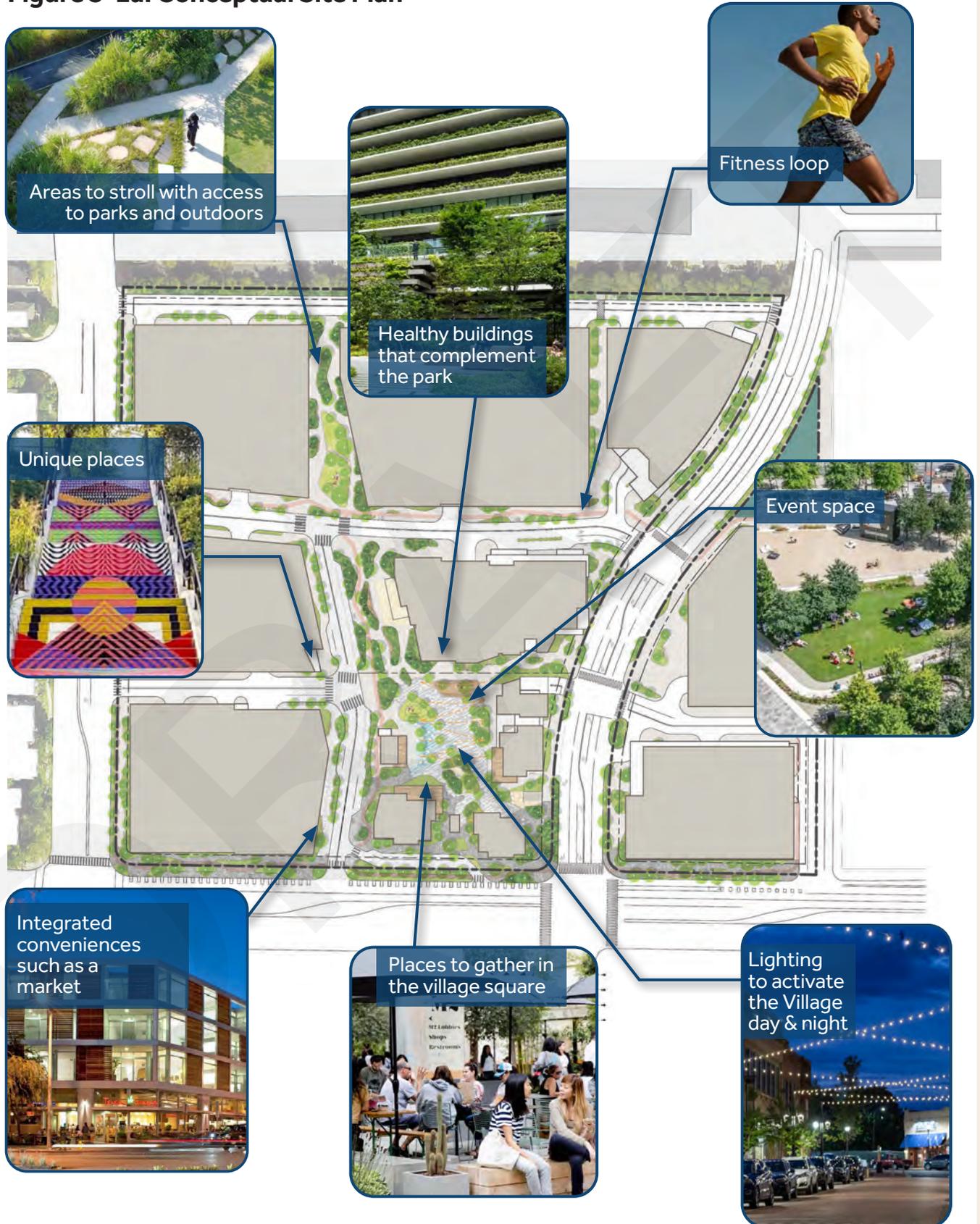


3.2.3 Urban Design

The objective of the urban design approach is to create a long-lasting community that maintains value through building design with architectural qualities that create attractive street scenes. The design guidelines of Chapter 5 and the development regulations in Chapter 4 guide future development for the Village. The plans provided in this chapter implement the guiding principles of Chapter 2, centrally locating the plaza and demonstrating the village in a park concept. Furthermore, the land use, open space, and mobility plans of this chapter visually reinforce the principles and lay the foundation for future implementation. Figures 3-2a to 3-2c provide precedent imagery and renderings of daily life at the Village.



Figure 3-2a: Conceptual Site Plan



Note: Conceptual site plan for illustrative purposes, subject to change.

Figure 3-2b: Precedent Images

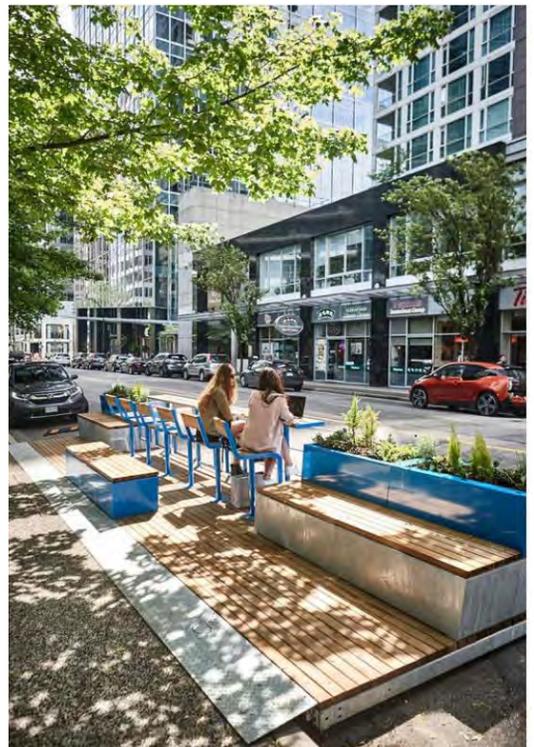
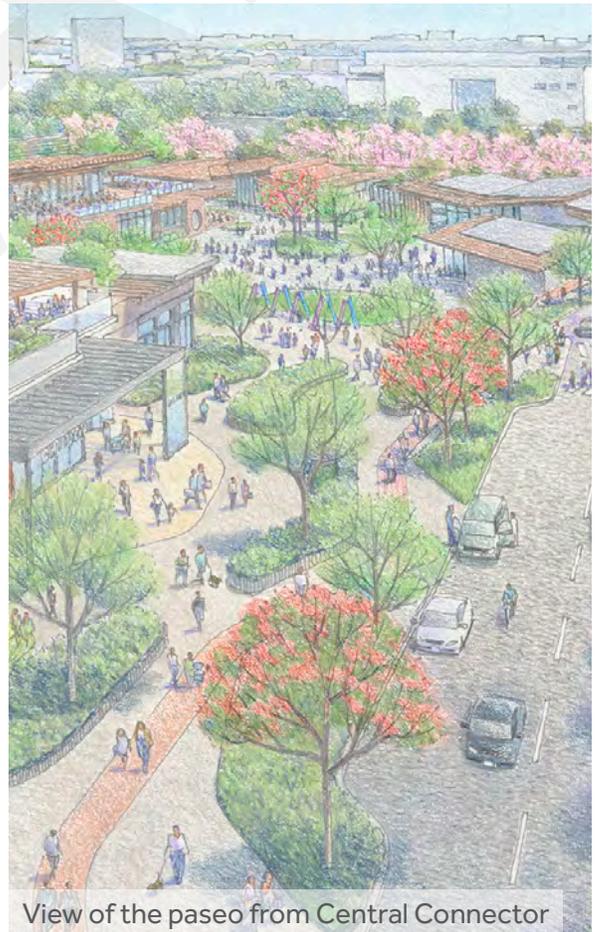
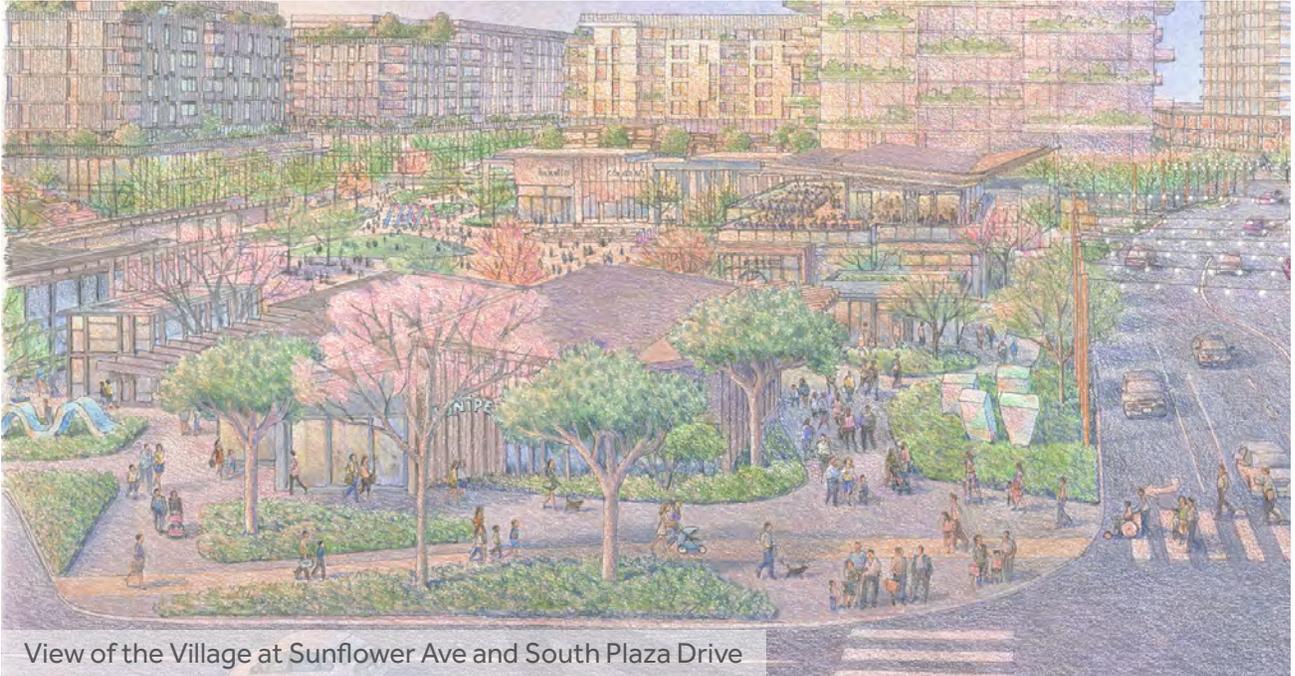


Figure 3-2c: Conceptual Illustratives





3.3 Open Space and Landscape Plan

The open space and landscape plan is a critical piece of placemaking for the Village. Both common (public) and private open space areas contribute to this Specific Plan. The following sections guide future implementation of open space for the Village.

3.3.1 Passive and Active Open Space

Several key areas have been identified and programmed to create unique open space amenities for the Village (Chapter 2, Guiding Principle #1). These open space areas, identified on Figure 3-3, *Potential Open Space Features*, provide cohesive options for programming the open space areas designated by the land use plan on Figure 3-1.

- » The Promenade draws pedestrians from the residential area west of Bear Street, South Plaza Drive, and beyond to create a distinct destination along Sunflower Avenue. Wide sidewalks with extensive planting, lighting, and art weave connections to the amenities and gardens of the Village.
- » The Square is intended to be an intimate hub for public gathering, events, and relaxation from day to night. Various seating areas, water features, and experiential lighting and art are envisioned to activate the Square. This area can be programmed for large events such as outdoor yoga and fitness classes, parties, markets, and outdoor movie nights. Restaurant patios contribute to a lively village vibe.
- » Garden Paseos create a uniquely immersive experience along the edges and entries of the Village. These paseos heighten the sense of botanical bounty in Southern California, further promoting gathering and activity.
- » The Garden Strolls let residents and the public take a break from the bustle of the village square and streetscape. These areas are packed with shade trees and native planting and provide space for recreation as well as immersive seating areas throughout.
- » A Fitness Loop encircles and threads through the site with special markers to provide a continuous fitness path for residents and neighbors.

Figure 3-3: Potential Open Space Features



Source: RIOS

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- | | | |
|--------------------|----------------------|--------------------|
| 01 Promenade | 06 Restaurant Patios | Private Open Space |
| 02 Village Square | 07 Grand Stairs | Site Boundary |
| 03 Garden Paseo | 08 Gateway Art | Fitness Loop |
| 04 Garden Strolls | 09 Water Feature | |
| 05 Recreation Lawn | | |



- » The Recreation Lawn is an area where the community and their pets can gather and relax in a low-water-grass space.
- » Architectural features such as the Grand Stairs connect outdoor open space up to the building, creating a unique area for relaxing, meeting up with friends, or exercising.

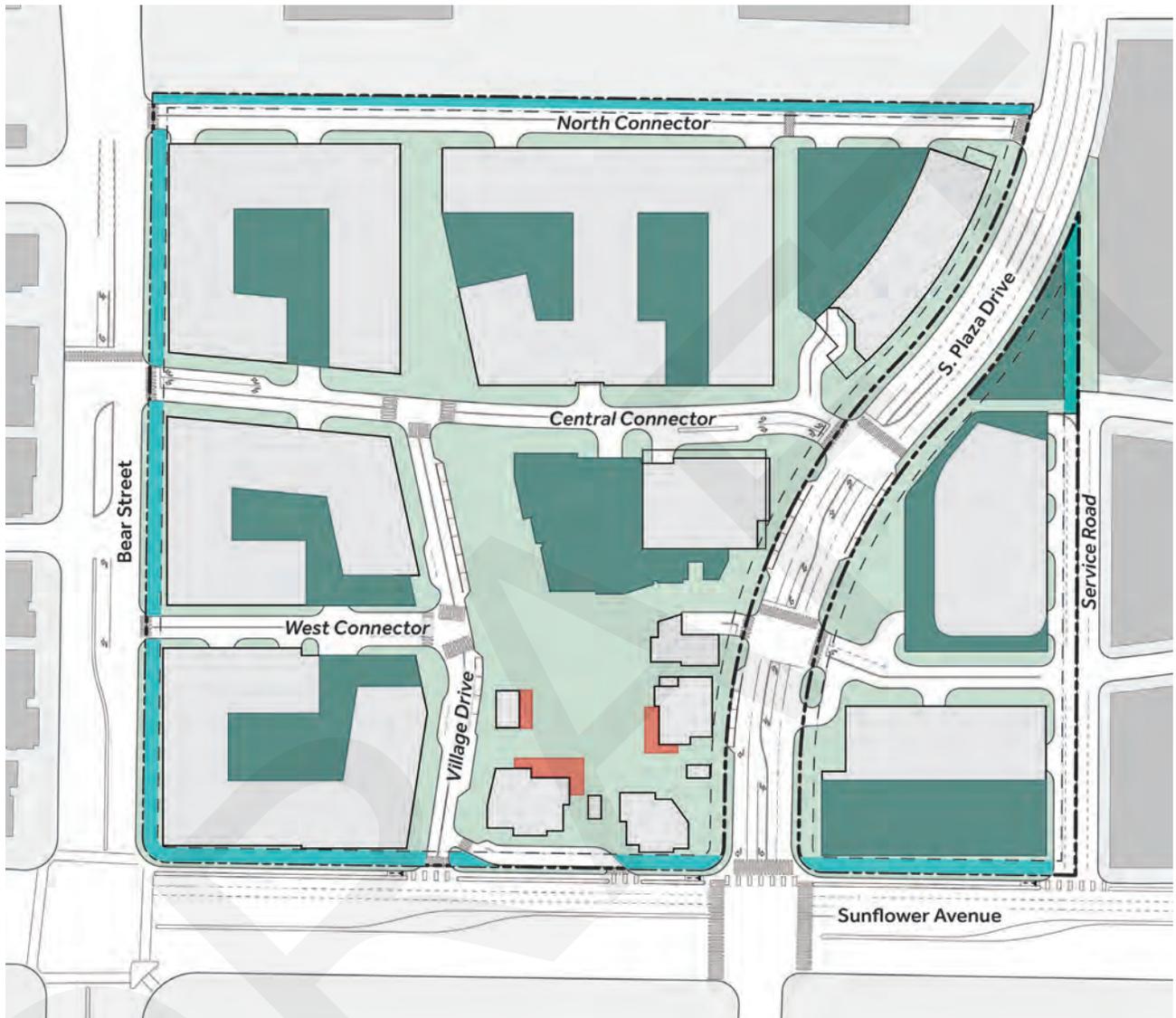
3.3.2 Private Open Space

Private open space amenities are provided at grade and throughout the towers and podium buildings of the Village. These spaces will provide residents with communal gathering spaces and intimate gardens; opportunities for recreation; and amenity facilities including pools and spas, outdoor kitchens, and “hangout” spaces. These areas are identified on Figure 3-4, *Open Space Concept*. Other private open space areas include balconies and patios. Standards for private open space are provided in Chapter 4, *Development Regulations*.

Open Space Concept Principles

- » Circulation drifts across the site, anchored by an immersive garden experience.
- » Plaza space is composed of programmed nodes connected by varying types of pathways and seating.
- » Circulation narrows through garden paseos and releases into the village square.
- » The promenade is emphasized with paving, lighting and entry-worthy trees.
- » Most private open space is secluded within buildings promoting communal gathering.

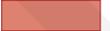
Figure 3-4: Open Space Concept



Source: RIOS

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- | | | | |
|---|--------------------|---|--|
|  | Private Open Space |  | Ground Level Open Space - Active & Passive |
|  | Restaurant Patios |  | Site Boundary |
|  | Setback Area | | |



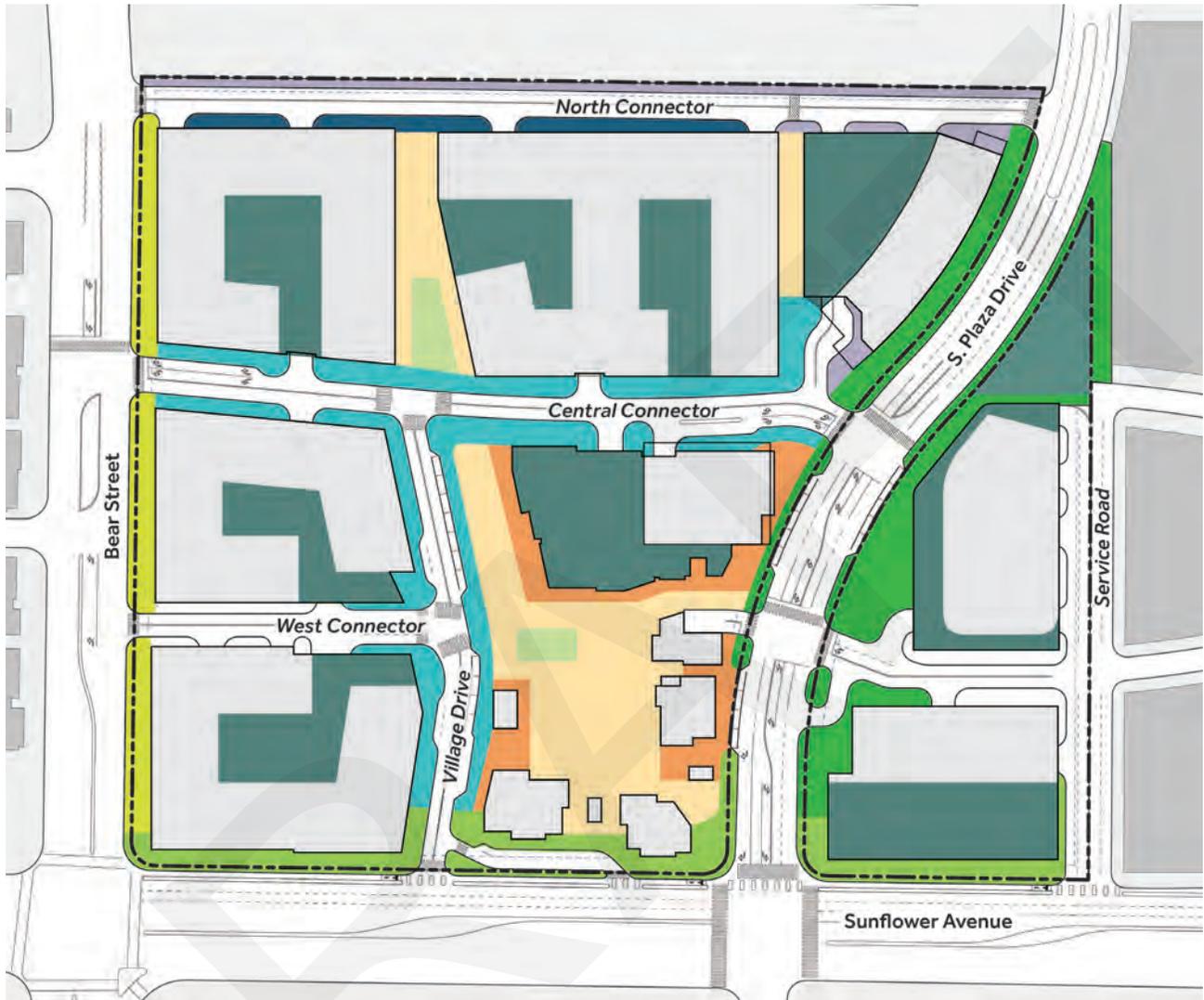
3.3.3 Planting Zones

A variety of native trees, plants, and shrubs provide immersive garden living for the Village. Planting zones correspond with the areas identified in Sections 3.2.1 and 3.2.2. The following describes the various planting concepts for each open space area of the Village. These areas are illustrated on Figure 3-5, *Planting Zones*.

- » Paseos and the Plaza are integrated with intimate gardens. Drought-tolerant plants and California natives provide a mix of green-leafy and flowering shrubs, ground covers, and strappy plants.
- » The Sunflower Avenue Streetscape merits special attention because it is the front door of the Village. Drought-tolerant, low-water plants with unique characteristics; brightly colored flowers; a mix of succulents; ornamental grasses; and perennials provide a grand entrance.
- » Podium Spaces are integrated with broad-leafed green plants that are climate adapted and drought tolerant to provide a backdrop to daily life in the Village.
- » Retail Accents are inspired by the garden plantings of the Plaza. Plants are drought-tolerant, low-water grasses and succulents to complement the Plaza and special plantings along Sunflower Avenue.
- » Recreation Lawns are found in the Garden Strolls. These areas will be planted with low-water turf to provide spaces for passive and active activities adjacent to the garden pathways.
- » General Streetscape areas along Bear Street, South Plaza Drive, internal streets, and the back of the property will be planted with evergreen, climate-adapted plants.
- » The Recreational Lawn will be planted with low-water turf. The adjacent path will provide connectivity and an ideal area for residents to walk their dogs.

Plants, trees, shrubs, and ground covers complement the architecture of the Village to create a unique sense of place and foster community gathering. Planting palettes for each zone are provided in Chapter 5, *Design Guidelines*.

Figure 3-5: Planting Zones



Source: RIOS

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- | | |
|---|--|
|  Sunflower Ave Streetscape |  Paseos & Plazas |
|  Bear St Streetscape |  Retail Accents |
|  S Plaza Dr Streetscape |  Private Open Space |
|  North Connector Streetscape |  Recreation Lawns |
|  Internal Streetscapes |  Site Boundary |
|  General Streetscape Areas | |



3.4 Mobility Plan

The mobility plan provides the foundation for how people and goods move throughout the Village using different modes of transportation. Mobility facilitates physical movement and also guides how people experience the space around them as they move. At the Village, mobility in both efficient transportation and experiential movement contribute to this unique community.

3.4.1 Circulation Network

The circulation network consists of existing public roadways and a new internal network of private streets and drives that offer access throughout the Village. New and enhanced traffic control devices such as traffic signals and stop signs will be integrated at new access points and intersections in the Village. Figure 3-6, *Circulation Network*, illustrates the locations and the relationships between the new internal network of private streets, drives, and driveways and existing public roadways. Cross-sections of the existing and proposed roadway improvements are shown on Figures 3-7 to 3-13.

Existing Roads

Three existing public roadways offer access to the Village—Sunflower Avenue, Plaza Drive, and Bear Street.

Sunflower Avenue

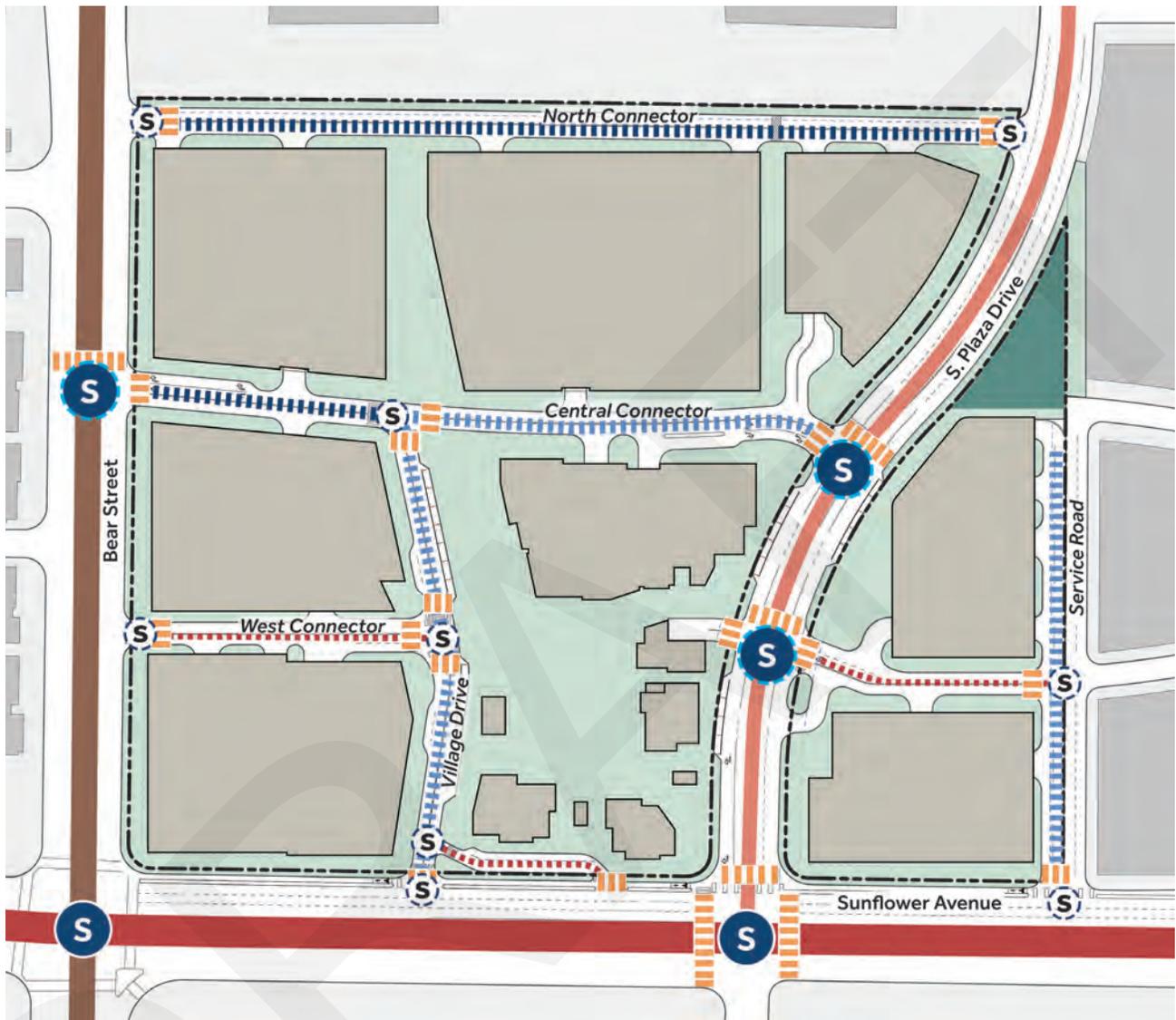
Sunflower Avenue is on the southern boundary of the Village. As noted in Chapter 1, it provides regional connectivity via Bristol Street and Bear Street to nearby freeways. Sunflower is classified as a Major Arterial in the Santa Ana General Plan and offers east-west access.

Figure 3-7a depicts the existing right-of-way configuration, and Figure 3-7b lays out the proposed condition at full buildout of this Specific Plan. Improvements include a new Class II bike lane, landscape buffers, and continuation of the sidewalk.

Plaza Drive

Plaza Drive is a local street that provides north-south access. The right-of-way bisects the Village. The southern end of Plaza Drive terminates at Sunflower Avenue, where it becomes an entryway to South Coast Plaza.

Figure 3-6: Circulation Network



Source: LLG, PlaceWorks

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

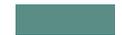
LEGEND

Roadway Classifications

-  Major Arterial
-  Secondary Arterial
-  Local Street
-  Private Street
-  Private Drive
-  Driveway

Traffic Control Devices

-  Existing Traffic Signal
-  Proposed Traffic Signal
-  Proposed Stop Sign(s)
-  Crosswalk

-  Open Space
-  Private Open Space
-  Site Boundary



Plaza Drive has an existing curb-to-curb width of 64 feet with 4 travel lanes, as shown on Figure 3-8a. With the development of the Village, Plaza Drive is planned to have an expanded curb-to-curb width of 80 feet. The proposed cross-section maintains 4 lanes of traffic and adds a loading zone in the expanded right-of-way. New curb-adjacent landscape buffers are also proposed. Figure 3-8b provides the proposed cross-sections and enhancements for Plaza Drive.

Bear Street

Bear Street runs north-south, providing access to the western part of the Village and offering direct access to SR-73. In addition, the City has designated Bear Street a Secondary Arterial. The Village is along the east side of the roadway, which is under the jurisdiction of the City of Santa Ana. The western side falls within the boundary of the City of Costa Mesa.

The right-of-way from the Village property line is 50 feet to the City limit, as depicted on Figure 3-9a. Bear Street will maintain the

same curb-to-curb width, travel lanes, and left-turn pockets when the Village is built. However, the Village will upgrade bicycle facilities consistent with the General Plan, as shown on Figure 3-9b.

Proposed Streets and Drives

A new internal network of private roadways are proposed to support mobility throughout the Village. Private roadways fall under three roadway typologies: Private Drive, Private Street, and Driveways. Private Drives include Village Drive, a portion of the Central Connector, and a Service Road shared with the adjacent property. Private Streets include the North Connector and the portion of the Central Connector from Bear Street to Village Drive. Private driveways are smaller internal connections meant to be used by residents and businesses to access a specific building. All roadway designations are shown on Figure 3-6, *Circulation Network*, and cross-section details are depicted on Figures 3-10 through 3-13.

Figure 3-7a: Sunflower Avenue Existing Cross-Section

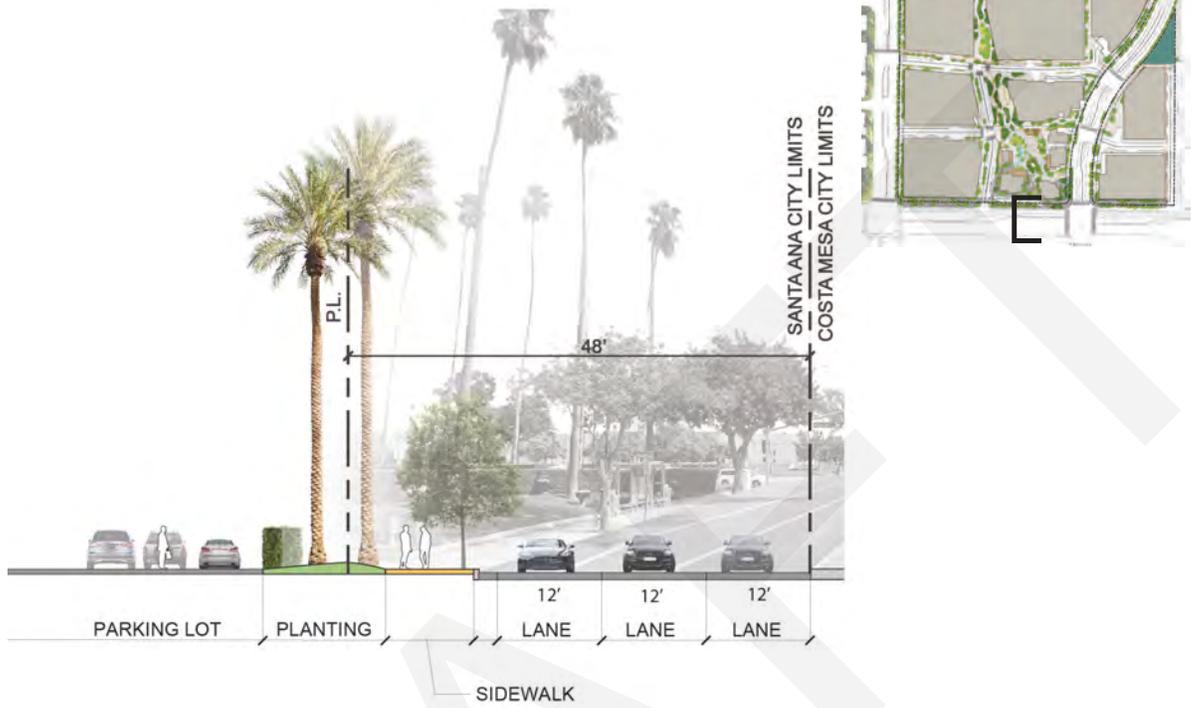
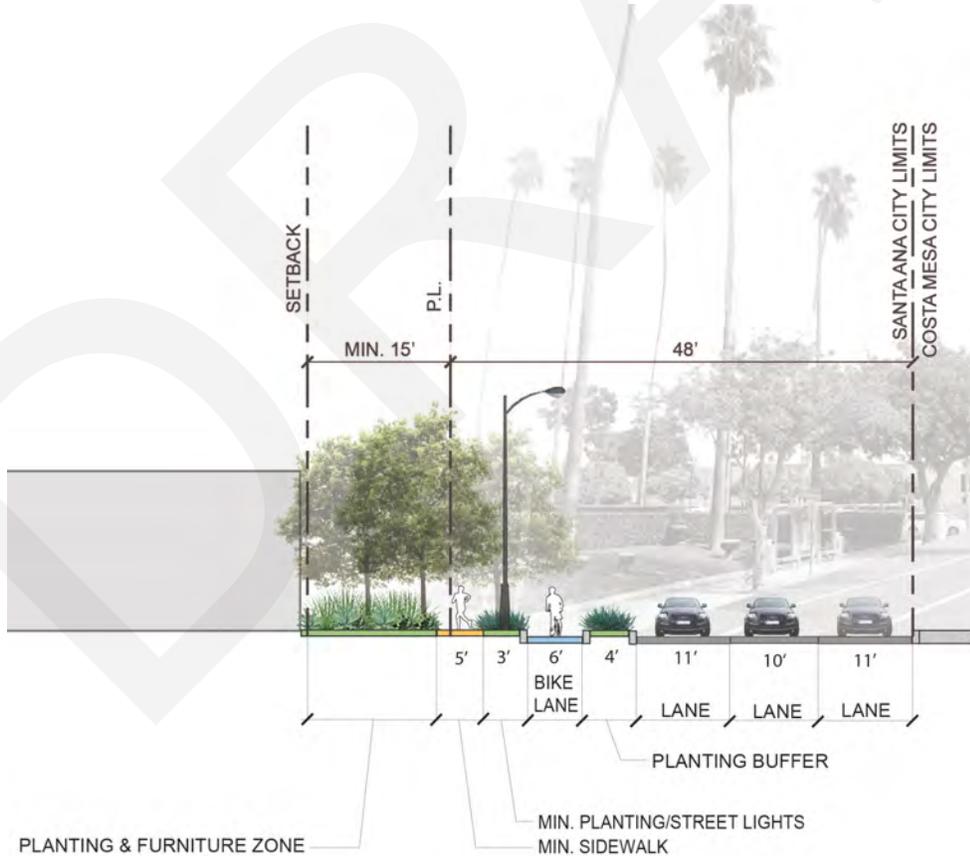


Figure 3-7b: Sunflower Avenue Proposed Cross-Section

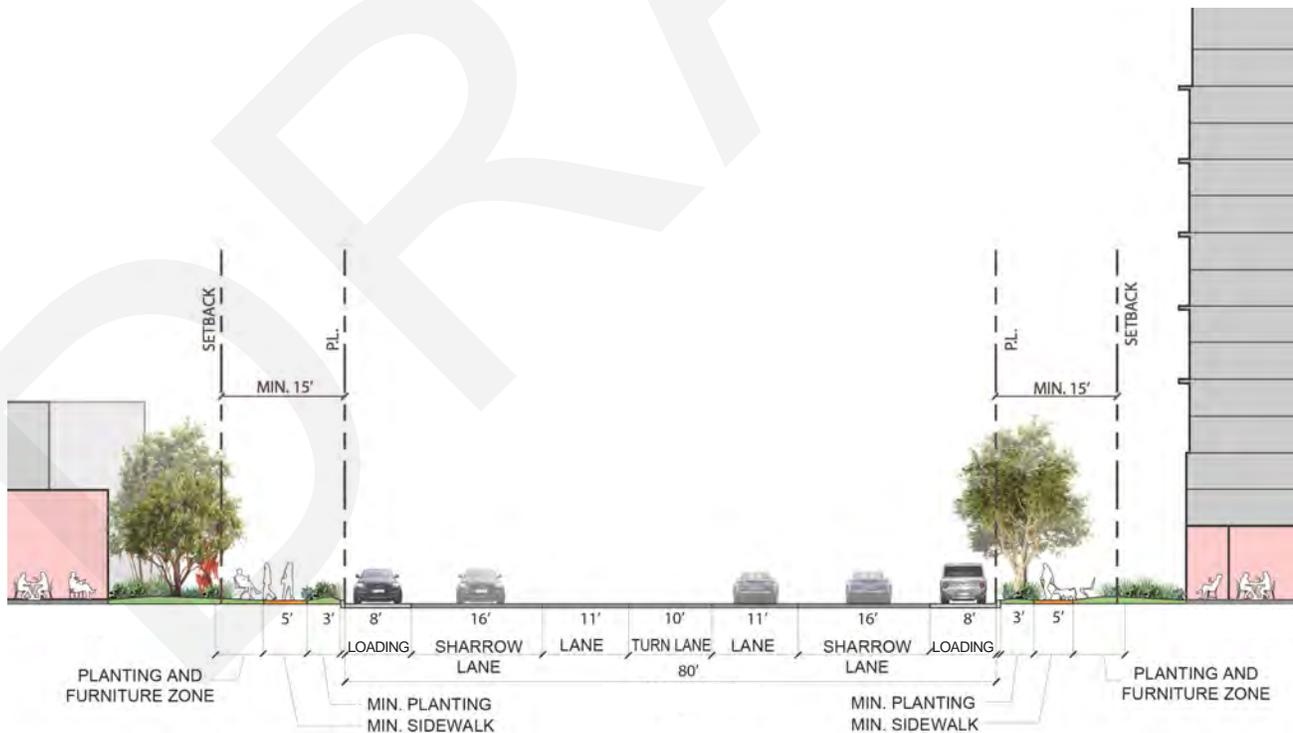


Source: LLG, RIOS

Figure 3-8a: South Plaza Drive Existing Cross-Section



Figure 3-8b: South Plaza Drive Proposed Cross-Section

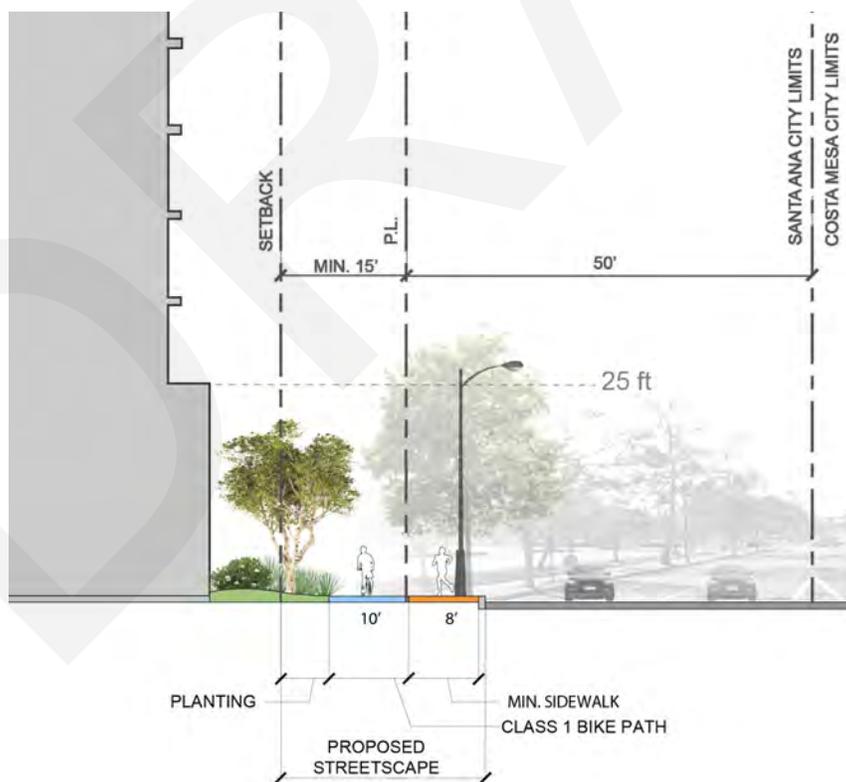


Source: LLG, RIOS

Figure 3-9a: Bear Street Existing Cross-Section



Figure 3-9b: Bear Street Proposed Cross-Section

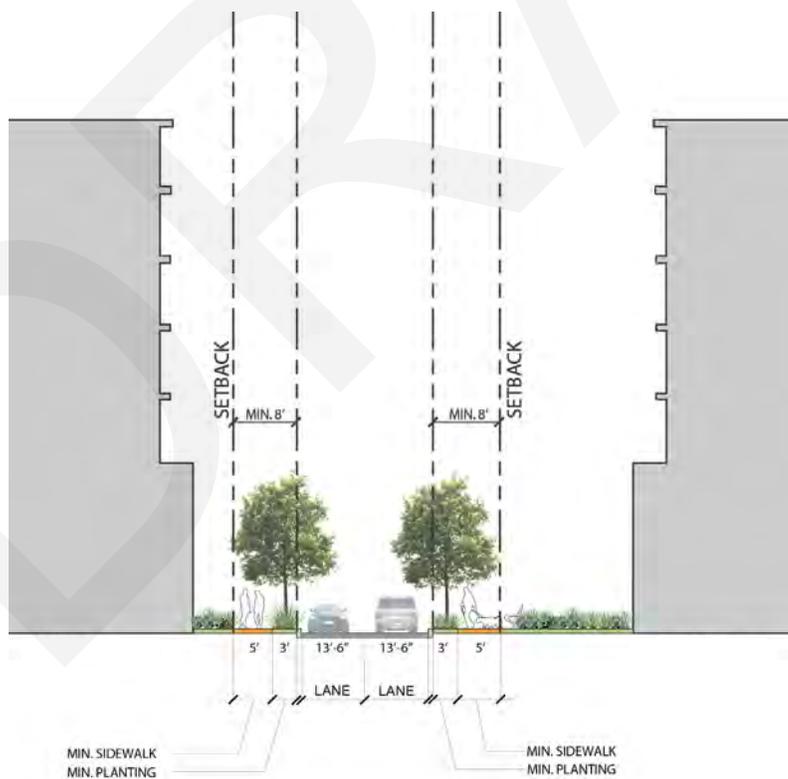


Source: LLG, RIOS

Figure 3-10: Village Drive Proposed Cross-Section



Figure 3-11: Central Connector Proposed Cross-Section



Source: LLG, RIOS

Figure 3-12: North Connector Proposed Cross-Section

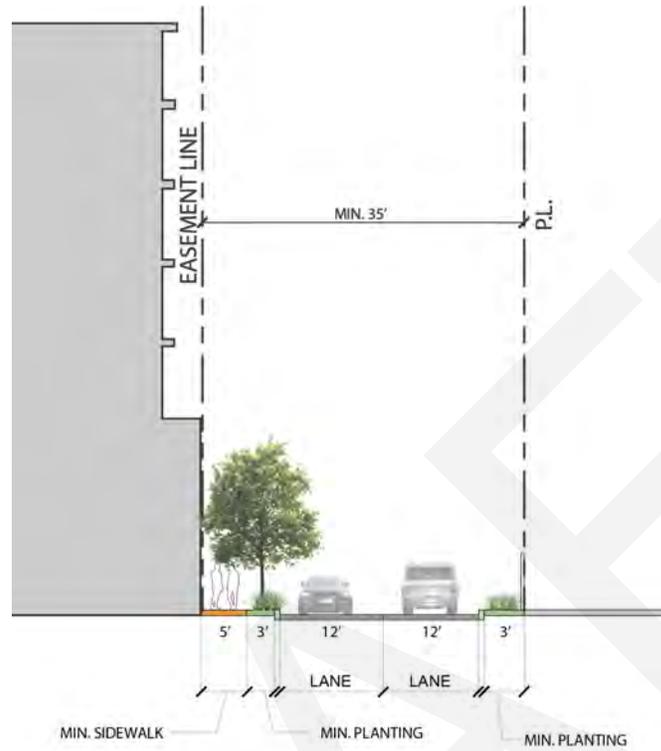
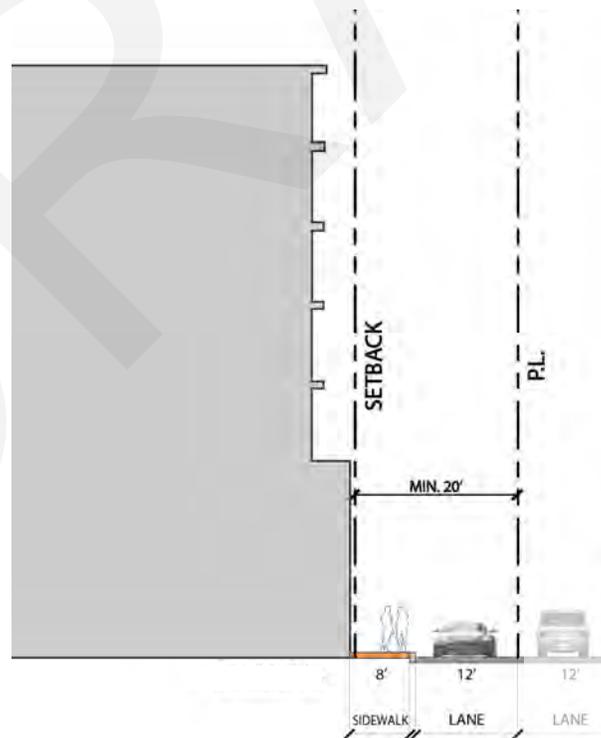


Figure 3-13: Service Road Proposed Cross-Section



Source: LLG, RIOS



3.4.2 Loading Zones

The Village will have multiple loading zones to accommodate passengers and goods. Designated passenger loading zones help create safe and comfortable entries into the Village for passengers that are dropped off or picked up via ride-sharing or other modes. The zones are designed to prevent queuing in vehicular travel lanes. Meanwhile, commercial loading zones in selected locations separate the movement of goods from the movement of people, supporting businesses throughout the Village. Proposed loading zones in the Village are depicted on Figure 3-14, *Proposed Loading Zones*. Standards for loading zones are provided in Chapter 4, Section 4.3.3, *Loading Zone and Space Requirements*.

3.4.3 Parking

Adequate parking is important to accommodate residents and visitors that drive to and from the Village. Parking will be integrated into buildings at and above grade and in lower level and underground structures, minimizing surface parking. Parking requirements are provided in Chapter 4, *Development Regulations*. Figure 3-15, *Conceptual Parking Locations*, illustrates the conceptual locations of parking and the ingress and egress for the parking structures in the Village. The exact parking locations will be determined by the ultimate building design. Bicycle parking amenities are discussed in Section 3.4.5, *Bicycle Network and Amenities*.

Figure 3-14: Proposed Loading Zones



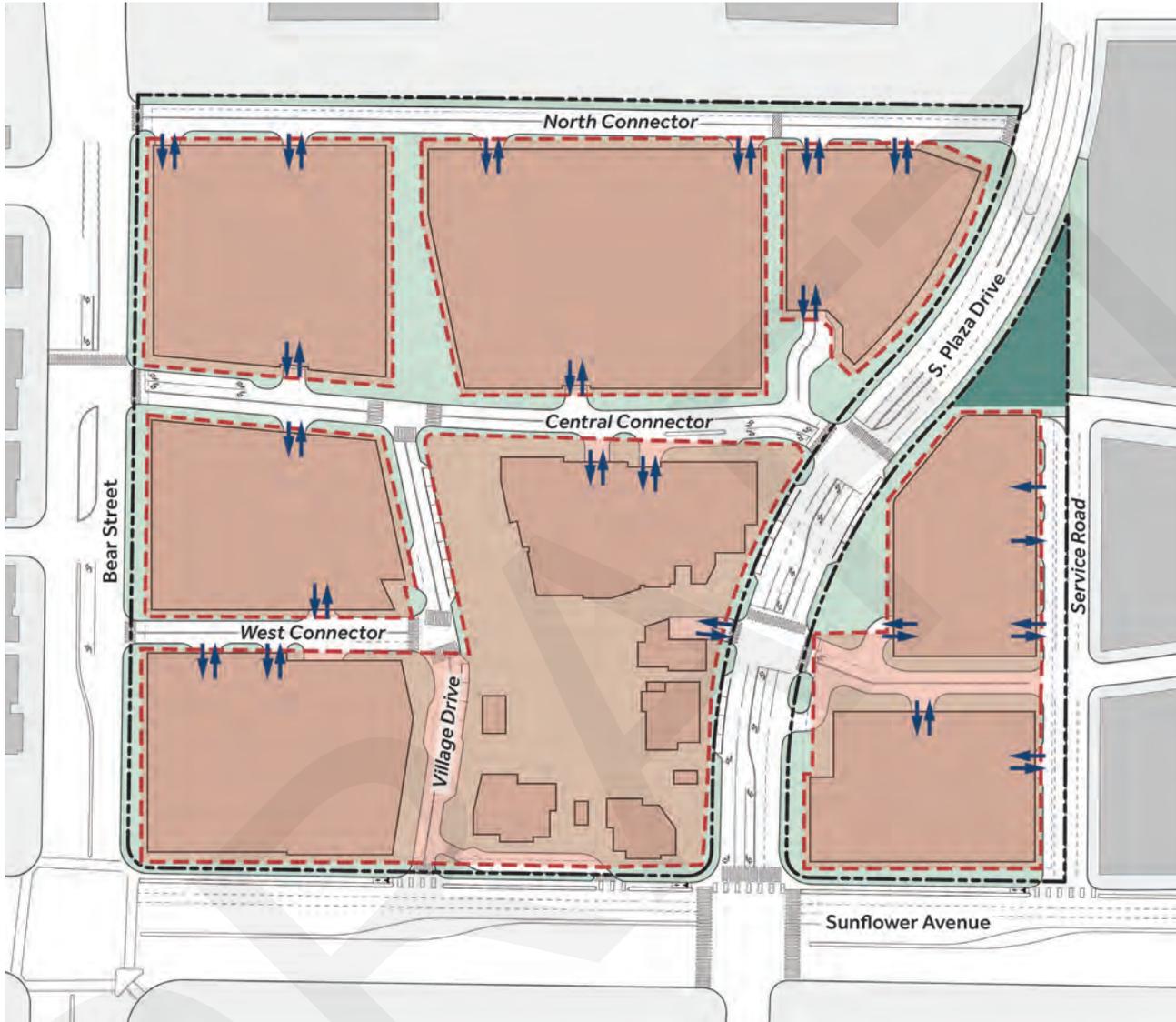
Source: LLG, Gensler

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- | | | | |
|---|------------------------------|---|--------------------|
|  | Commercial Loading |  | Open Space |
|  | Passenger Loading |  | Private Open Space |
|  | Commercial/Passenger Loading |  | Site Boundary |

Figure 3-15: Conceptual Parking Locations



Source: LLG, Gensler

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- Parking Location
- ↔ Parking Access
- Open Space
- Private Open Space
- Site Boundary



3.4.4 Pedestrian Network

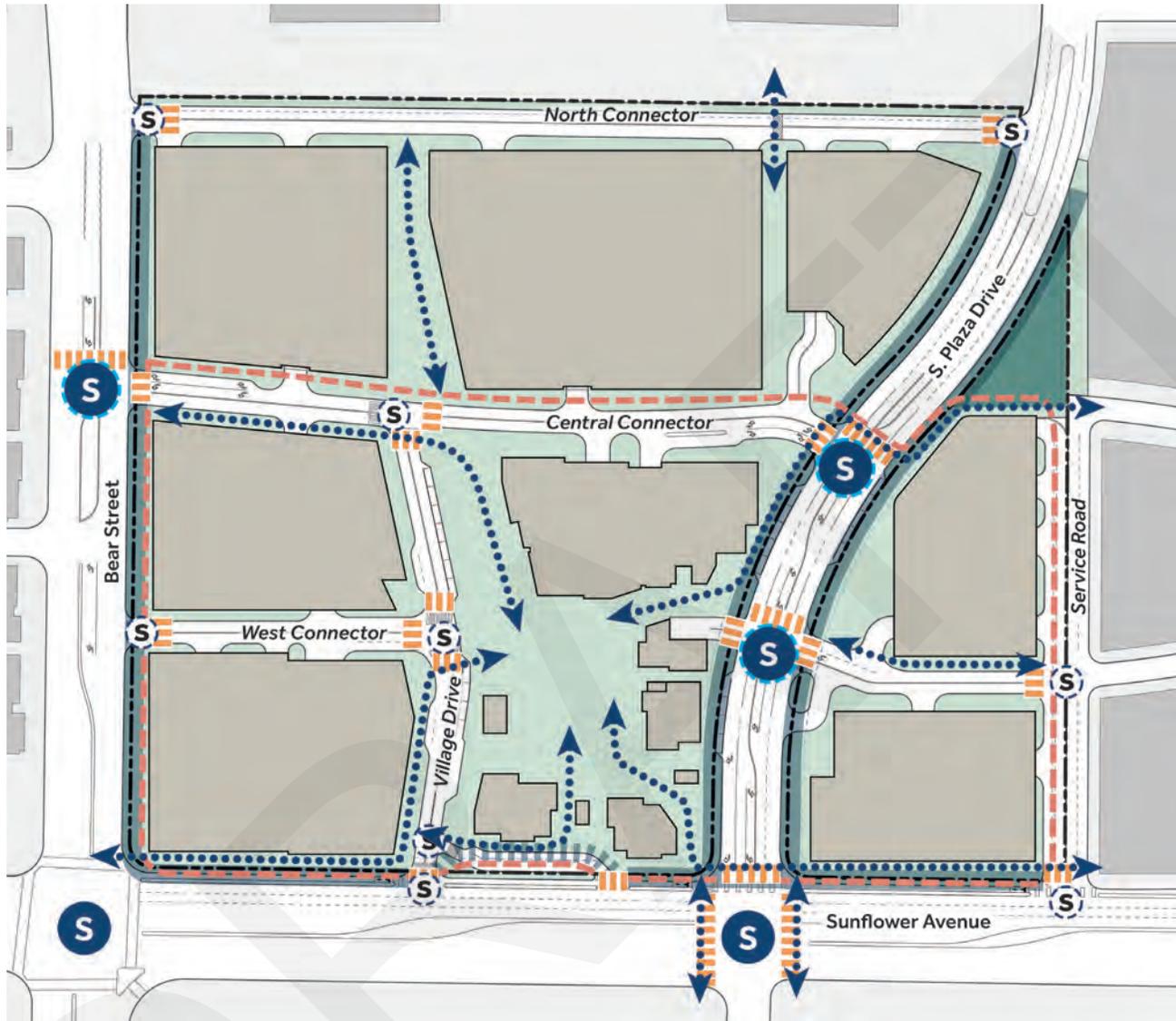
The conceptual pedestrian network allows residents, visitors, and other users to move from one space to another throughout the Village in an enjoyable and comfortable environment. With three tiers of pathways, the pedestrian network offers users unique experiences. As shown on Figure 3-16, *Conceptual Pedestrian Network*, it consists of sidewalks, pedestrian paths, and a fitness loop.

Sidewalks. Sidewalks provide access to and from the Village, and they allow residents and visitors to safely walk to nearby destinations. Crosswalks will be designated by striped street paint.

Pedestrian Paths and Paseos. Pedestrian Paths form the core of the pedestrian movement experience. All pedestrian paths lead to the central commercial area known as the Village Square. Along the way, pedestrians can enjoy the thoughtfully planned landscaping that activates and enhances their experience in the Village, as described in Section 3.3, *Open Space and Landscape Plan*.

Fitness Loop. The Fitness Loop is a unique feature in the Village that is both a recreational amenity to residents and a functional component of the pedestrian network. The Fitness Loop gives residents and visitors a high-quality exercise facility to meet their physical and recreational needs, and consists of two loops—an inner loop and an outer loop. The Fitness Loop goes around and through the entire perimeter of the Village, enabling runners, pedestrians, and other users to reach all the spaces that the Village has to offer.

Figure 3-16: Conceptual Pedestrian Network



Source: LLG, PlaceWorks

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

Pedestrian Pathway Classifications

-  Existing Sidewalk
-  Proposed Sidewalk Extensions
-  Proposed Pedestrian Path
-  Proposed Fitness Loop

Traffic Control Devices

-  Existing Traffic Signal
-  Proposed Traffic Signal
-  Proposed Stop Sign(s)
-  Crosswalk

-  Open Space
-  Private Open Space
-  Site Boundary

3.4.5 Bicycle Network and Amenities

The Village will have a network of bikeways that enables residents and other users to travel to and from the Village via bicycle. The bicycle network has been designed in accordance with planned bikeways identified in the Santa Ana General Plan. At locations throughout the Village, amenities will be available for users to park their bicycles during their stay. Figure 3-17, *Conceptual Bicycle Network*, depicts the proposed bikeway improvements to the existing public roadways and potential locations of bicycle amenities. Standards for bicycle parking by land use are provided in Chapter 4, Section 4.3.2, *Parking*. Bikeway classifications are consistent with the City of Santa Ana’s General Plan as defined in Table 3-2, *Bikeway Classifications*.

3.4.6 Public Transit

The Orange County Transportation Authority (OCTA) provides public transit services to

and from the Village, and existing bus stops are near the Village. Within a quarter mile are multiple bus routes that offer consistent headway to destinations throughout Orange County and beyond. Residents and visitors will have access to transit services. Public transit stops that service the Village are illustrated on Figure 3-18, *Public Transit Stops*.

3.4.7 Emergency Vehicle Access

Access for emergency vehicles allows safety personnel to respond to emergencies in a timely manner. Public and private roadways throughout the Village will be designed to accommodate emergency vehicles for fire, ambulance, and police services. The roadways will not have gates that prevent emergency vehicles from reaching the intended destination.

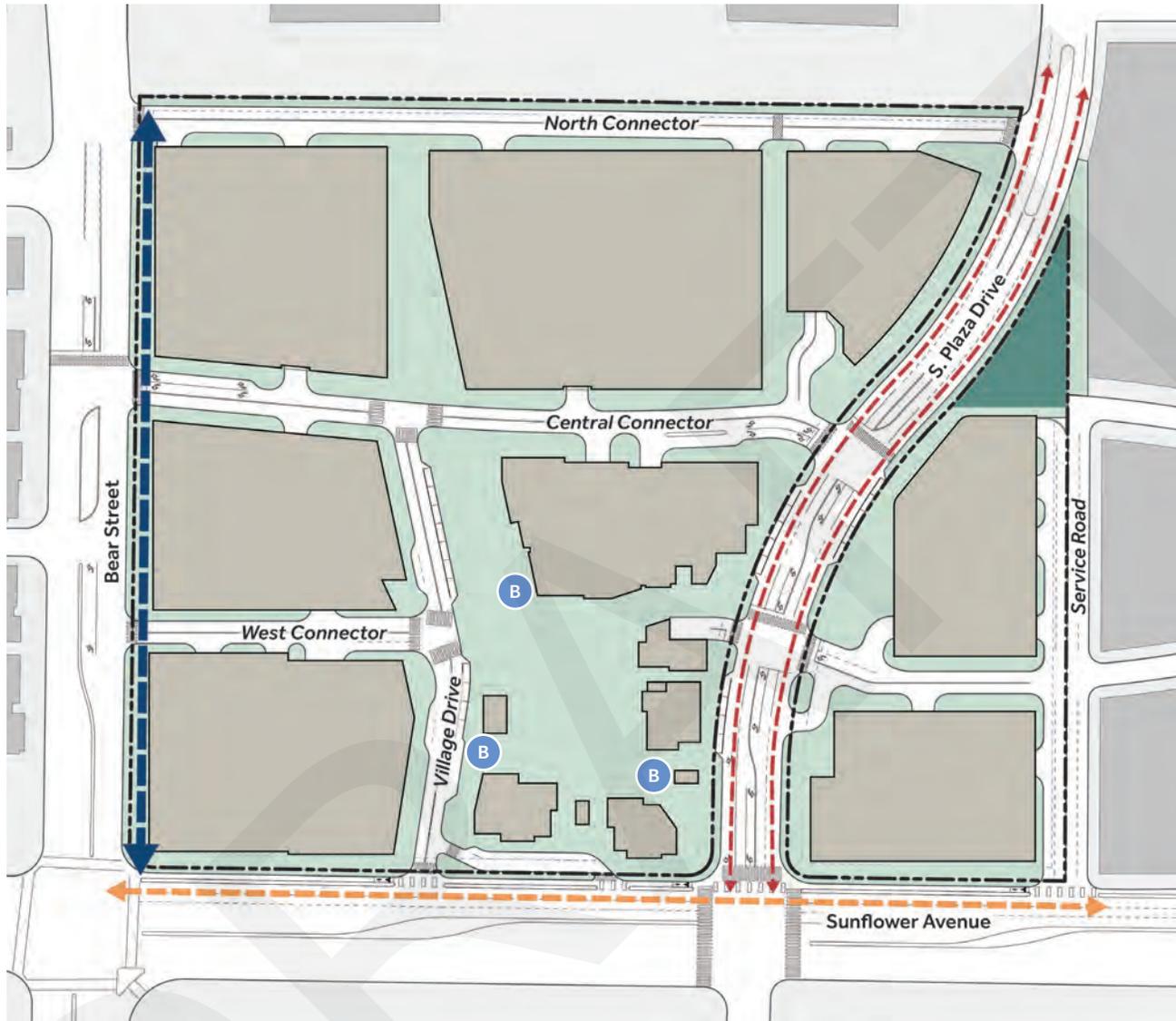
Roadway improvements and new roadway construction will adhere to the standards required by the Orange County Fire Authority.

Table 3-2: Bikeway Classifications

Classification	Description
Class I Bicycle Path	Paved rights-of-way physically separated from vehicle traffic for the exclusive use of bicyclists and pedestrians.
Class II Bicycle Lane	One-way routes denoted by a striped lane on a roadway to delineate the rights-of-way assigned to vehicles and bikes.
Class III Bicycle Route	Bikeways designated by signage or roadway markings (called sharrows) where cyclists share the travel lane with motor vehicle.
Class IV Cycle Track	Local roads that have been enhanced with treatments that prioritize bicycle travel, such as wayfinding signage, bollards, and traffic-calming features.

Source: 2022 City of Santa Ana General Plan Mobility Element

Figure 3-17: Conceptual Bicycle Network



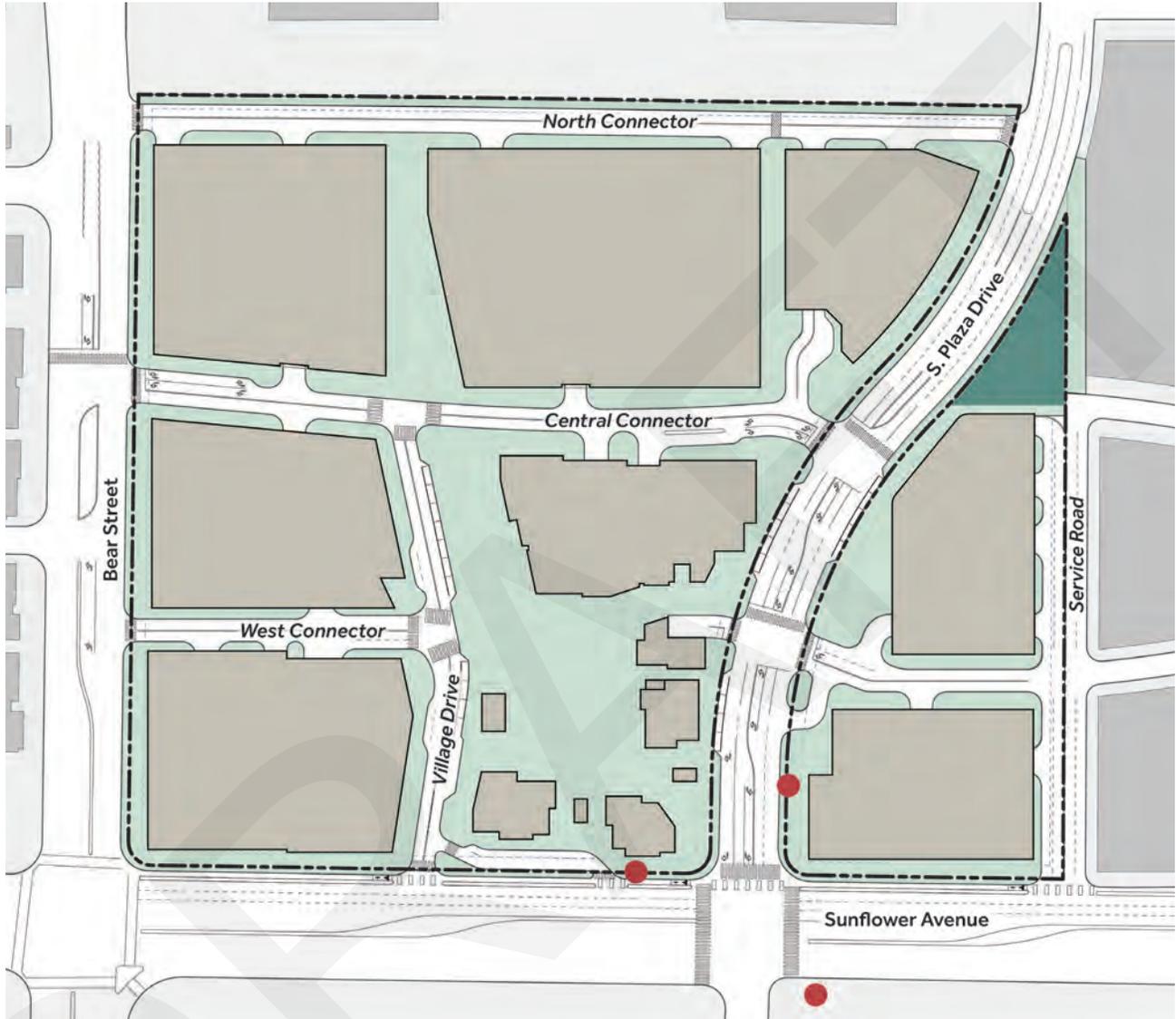
Source: LLG, PlaceWorks

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- Proposed New Class I Bike Path
- Proposed New Class III Bike Lane
- Proposed New Class IV Bike Route
- Proposed Bicycle Parking
- Open Space
- Private Open Space
- Site Boundary

Figure 3-18: Public Transit Stops



Source: LLG, PlaceWorks

Note: Conceptual site plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

-  Existing Transit Stops
-  Open Space
-  Private Open Space
-  Site Boundary

3.5 Infrastructure

Efficient and flexible infrastructure is needed to support residents, businesses, and visitors of the Village. This section provides the existing and proposed condition of utilities that service the area, including water, sewer, storm drain, and water quality systems. The information below is the basis for implementation strategies to ensure that basic services and provider requirements can be met as the Village is developed.

3.5.1 Water System

Domestic Water

The public water provider for the Village is the City of Santa Ana's Municipal Utility Services (SAMUS) department. SAMUS owns and operates existing water mains adjacent to the Specific Plan perimeter within Plaza Drive, Sunflower Avenue, and Bear Street, as shown on Figure 3-19, *Proposed Water System*. As development plans are submitted for City review, SAMUS will require the submittal of a water supply assessment as well as a hydraulic model evaluation of the existing public water system to determine if sufficient volume and pressure capacity are available in the system.

As a signatory with the California Urban Water Conservation Council, SAMUS works with the Orange County Water District (OCWD) as well as the Santa Ana Water Board to ensure adequate water resources and drinking water are available. Programs such as OCWD's groundwater replenishment system expansion will provide a drought-proof drinking water supply for more than one million people. The investment reduces

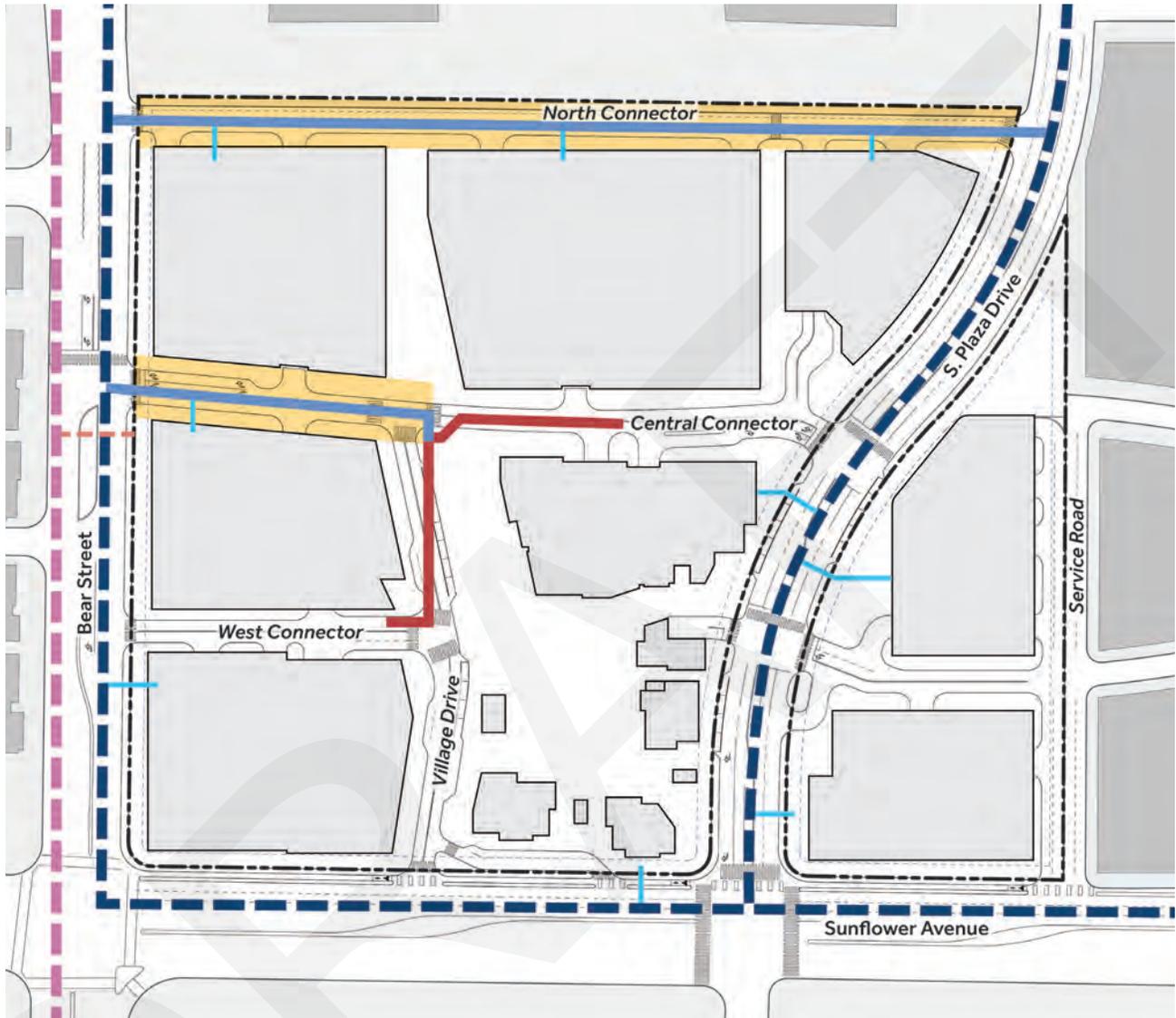
the need for imported water and provides a reliable supply of high-quality water.

Also shown on Figure 3-19, development of the Village will include the construction of new public water mains and public fire hydrants along the north connector road between Plaza Drive and Bear Street as well as within the westerly 300 feet of the central connector road. All public water mains will be required to be constructed within designated private streets, per City of Santa Ana standard plans. A segment of private fire water main will be extended from and along the Central Connector Road toward Village Drive to provide extended fire hydrant coverage for the site. All existing laterals servicing the site will be removed and abandoned up to the existing water main per SAMUS standards. New domestic, irrigation, and fire water service connections for each proposed structure will be made directly to the existing and proposed public water mains located throughout the specific plan area, per SAMUS standard plans. Per Santa Ana Municipal Code (SAMC) Section 39-23, all residential units will require individual domestic water submetering in addition to separate metering for communal facilities and irrigation meters. See the Civil Utility Layout Sheet in Appendix E for the current layout of the proposed domestic water system. Final layout, location, and number of proposed water mains, hydrants, and meters will be developed during the design permitting phase based on the results of final studies and City input.

Recycled Water

The OCWD has a recycled water main line within Bear Street that is a part of the Green Acres Project. The Village has a 2-inch recycled water service on Bear Street

Figure 3-19: Proposed Water System



Source: TAIT

Note: Conceptual water system plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- | | | | |
|---|---|--|----------------------------------|
|  | Existing City Water Main (12") |  | Proposed Private Street Easement |
|  | Existing County Recycled Water (24") |  | Site Boundary |
|  | Existing Recycled Water Lateral (2") | | |
|  | Proposed Public Water Main (12") | | |
| | Proposed Private Fire Water Main (~8-10") | | |
| | Proposed Lateral (Fire and Water) | | |



currently in use for irrigation. OCWD has indicated that no new recycled water services connections are available, however the existing 2-inch service will remain available for the maximum extent possible for irrigation. Any new irrigation connections needed will come from the City's domestic water system from pipes along the eastern portion of the Village unless in the future, OCWD allows additional recycled metering. Final layout, location, and number of proposed recycled water and irrigation laterals and meters will be developed during the design permitting phase based on the results of final studies and City and County input.

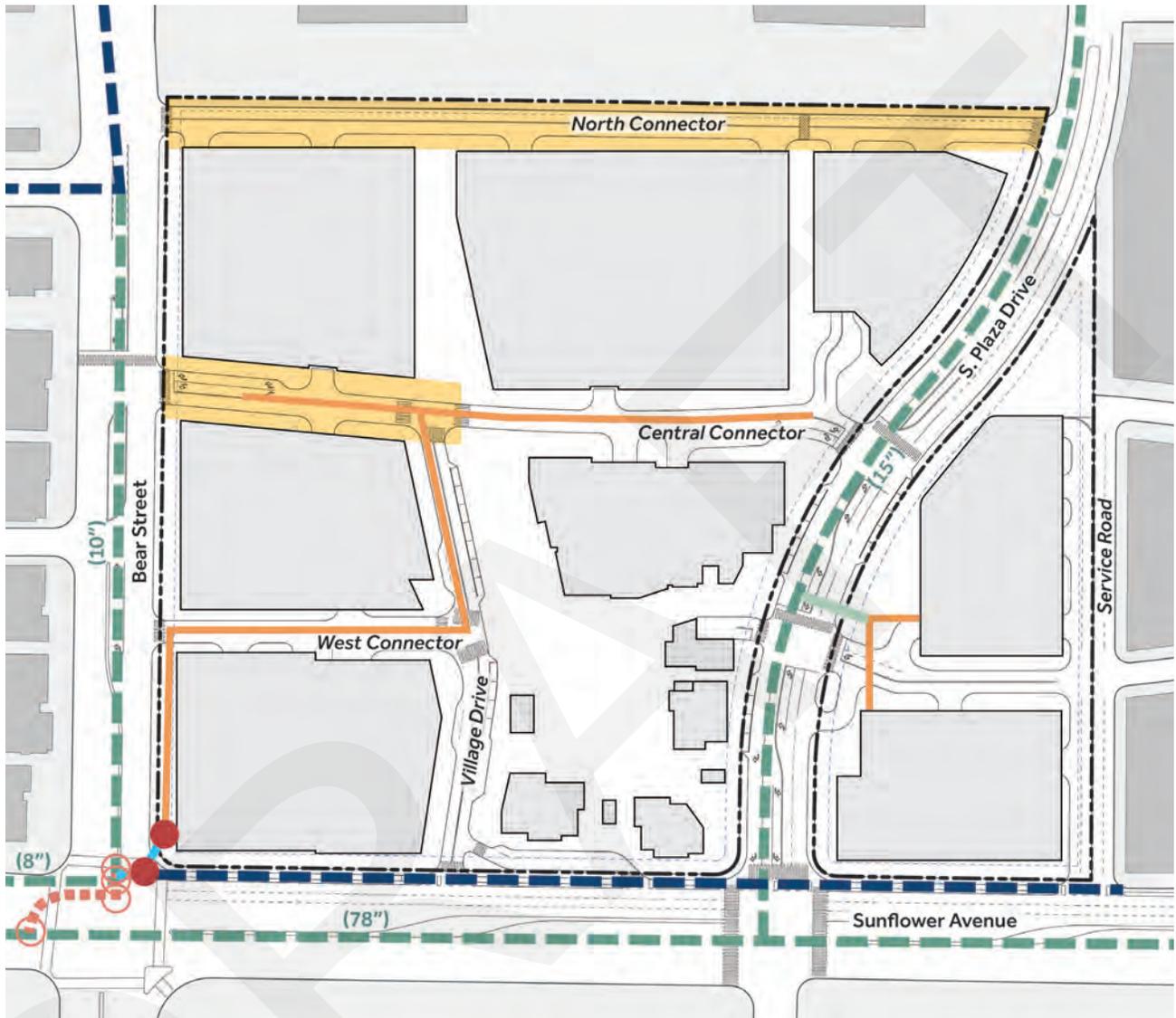
3.5.2 Sewer System

The designated public sewer provider is also SAMUS. However, a majority of the site is surrounded and serviced by Orange County Sanitation District (OCSD) trunk sewer mains, and multiple active direct connections to the county main exist along Plaza Drive. SAMUS owns and operates an existing vitrified clay pipe (VCP) sewer main along Sunflower Drive as well as a short segment of VCP sewer within Bear Street at the northwest corner of

the Village. The remainder of the surrounding sewer network is owned and operated by OCSD and consists of a VCP main in Bear Street, a VCP main in Plaza Drive, and a large concrete trunk main in Sunflower Avenue. See Figure 3-20, *Proposed Sewer System*, for schematic locations of existing mains. As part of project development requirements, SAMUS will require the submittal of a sewer capacity study to both the City as well as OCSD to verify capacity of the City and County sewer mains. OCSD capacity review identified some existing capacity within the trunk main. However, the smaller VCP sewer mains in Bear Street and Plaza Drive have no additional capacity beyond current discharges.

As shown on Figure 3-20, *Proposed Sewer System*, the proposed development will include the construction of an on-site private sewer network that will convey all sewer flows generated west of Plaza Drive to discharge to the existing OCSD trunk sewer main located in Sunflower Avenue. Sewer flows generated east of Plaza Drive will be connected to the existing VCP OCSD sewer main in Plaza Drive as well as the existing VCP SAMUS sewer main in Sunflower Avenue to utilize

Figure 3-20: Proposed Sewer System



Source: TAIT

Note: Conceptual sewer system plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- Existing OCSD Sewer Main
- Existing City Sewer Main (8-10")
- Proposed Private Sewer Main (~8-18")
- Proposed City Sewer Lateral (~8")
- Proposed City Sewer 18-24"
- Proposed Public Manhole (City/County)
- Existing Manhole Modifications (4)
- Remove 10" and Construct New 18-24" County Sewer
- Proposed Private Street Easement
- Site Boundary



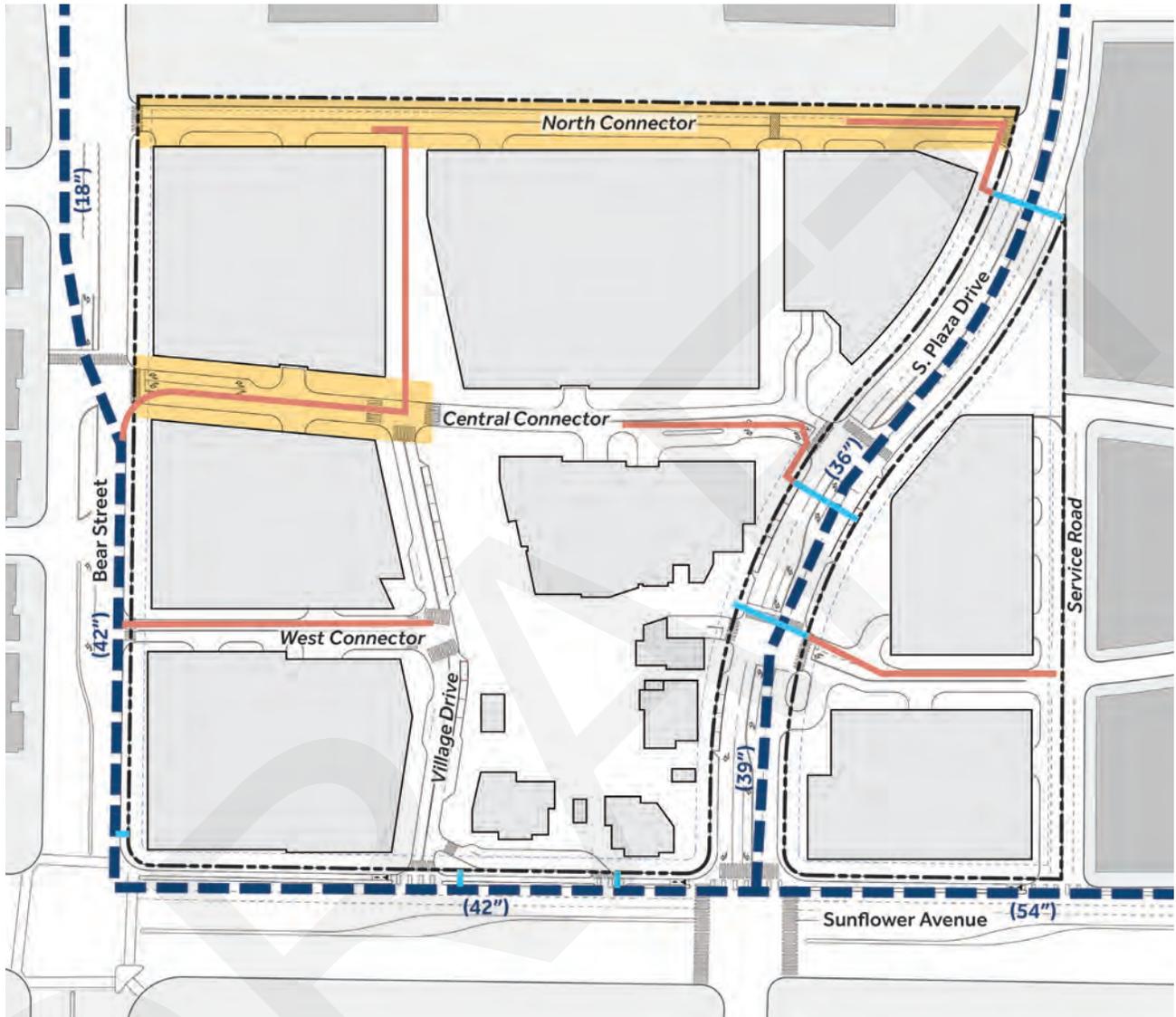
available existing capacities in the system. All new connections will be constructed per SAMUS and OCSD standards. See the Civil Utility Layout Sheet in Appendix E. Final alignment, points of connections, and limits of sewer removal and replacement will be developed during the design permitting phase based on the results of final studies and City input.

3.5.3 Storm Drain

The Village is in Sub-area 40 of the City of Santa Ana's Gardens Watershed, as defined in the December 2018 City of Santa Ana Master Plan of Drainage (MPD). All surrounding public storm drain systems are owned and operated by the City of Santa Ana Public Works Department (SAPW). Existing drainage from the site generally discharges to Bear Street, South Plaza Drive, and Sunflower Avenue via surface flow to parkway drain or direct storm drain connections at the back of public catch basins. The public storm drain network generally flows from north to south and from west to east around the Specific Plan area. Storm flows in Bear Street flow in existing reinforced concrete pipe (RCP) toward Sunflower Avenue. Storm flows then turn to the east and intersect with flows generated from South Plaza Drive to the north, and ultimately continue to drain to the east toward Bristol Street. See Figure 3-21, *Proposed Storm Drain System*, for schematic locations of the existing storm drain system. According to the MPD, South Plaza Drive and Sunflower Avenue are areas with known street and adjacent-site ponding of 6 to 12 inches during a 100-year storm. However, these segments have not been identified as areas of flooding concern. The MPD recommends upgrading the size of the existing storm drains in South Plaza Drive and Sunflower Avenue. However, the City does not currently have a schedule for these upgrades.

The proposed grading and storm drain network will be designed to match existing drainage and flow patterns, described above, to best utilize the capacities available in the existing public storm drain system. Based on current hydraulic models, buildout of the Specific Plan will not increase the peak stormwater flows. Depending on the final routing of the storm drain system and if hydraulic efficiencies are increased, the peak flows from the site may also increase and require the construction of underground detention systems to mitigate a minimum of the 10-year design storm, per the latest version of the Orange County Local Drainage Manual. Due to the high podium building drainage demand and the presence of multiple subterranean garage entrances, on-site drainage systems will be sized to protect

Figure 3-21: Proposed Storm Drain System



Source: TAIT

Note: Conceptual storm drain system plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

- Existing City Storm Drain
 - Existing City Storm Drain Lateral (18") to Be Reused
 - Proposed Private Backbone Storm Drain Network (12-18")
- Proposed Private Street Easement
 - Site Boundary

all garage entrances from the 100 year storm street ponding elevation. See Figure 3-21, *Proposed Storm Drain System*, for a schematic layout of the proposed storm drain network. Final alignment and points of connections will be developed during the design permitting phase based on the results of final studies and City input.

3.5.4 Water Quality Management

The Village is in the Newport Bay watershed as defined in the Orange County Technical Guidance Document (TGD). Due to TGD capture requirements and shallow groundwater, poor soil infiltration rates, and anticipated basement level construction, the Specific Plan area will be required to implement bio-filtration as the primary water quality treatment method.

The use of proprietary flow-based bio-filtration boxes (e.g., Modular Wetlands or Filtera Units) are proposed for the primary bio-filtration method. As an alternate approach, surface bio-filtration planters, green roofs, and localized capture and re-use will be analyzed during the final design stages based on site constraints. Additionally, during each phase of development, the associated localized drainage and water quality systems dedicated to each building site will be analyzed and constructed with each building before connecting to the on-site backbone storm drain system. See Figure 3-22, *Proposed Water Quality Management*, for a schematic layout of the proposed water quality treatment system. Final location, number of units, and treatment method will be developed during the design permitting phase based on the results of final studies and City input.

3.6 Other Utilities and Public Services

Generally, the City of Santa Ana requires any new development, like the Village, to ensure that the site has adequate services available to support residents and employers. These services include waste management and recycling, electricity, natural gas, and communication services such as telephone and wi-fi. Other services include police and fire as well as access to schools and libraries.

3.6.1 Waste Management and Recycling

The City of Santa Ana contracts waste management and recycling services with Republic Services. This provider will continue to service the site.

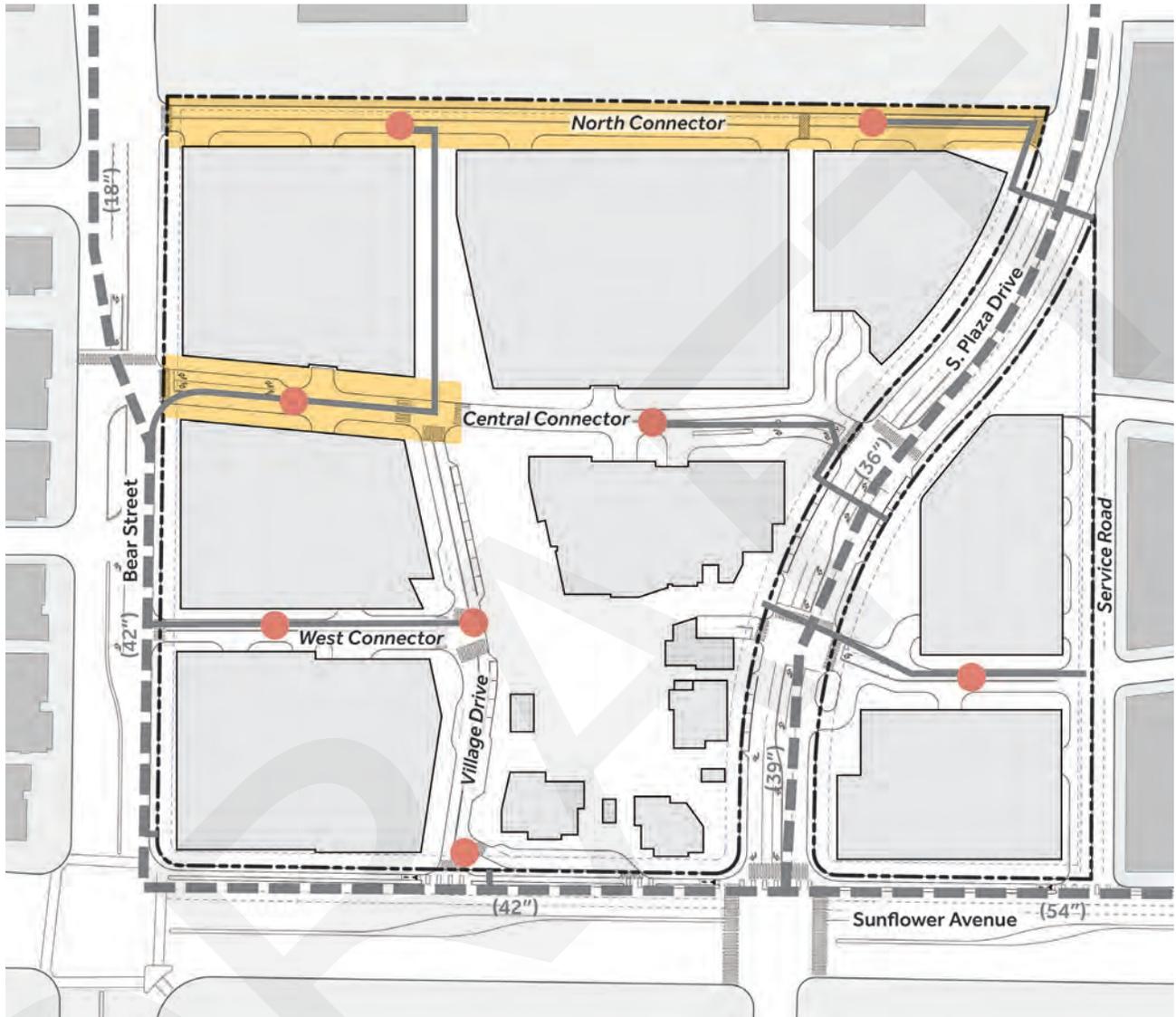
3.6.2 Electricity and Natural Gas

Electricity is provided to the area by Southern California Edison. Natural gas is provided by SoCalGas. Both providers service Santa Ana at large and currently provide electricity and natural gas to the site.

3.6.3 Communication Services

Communication services such as telephone, wi-fi, and cable television are provided to the area by multiple providers. The largest service providers are Charter (Spectrum) and AT&T. These services are adequate and will continue to be available to the Village.

Figure 3-22: Proposed Water Quality System



Source: TAIT

Note: Conceptual water quality system plan for illustrative purposes, subject to change through the Development Project Plan Approval process.

LEGEND

-  Existing City Storm Drain
-  Proposed Storm Drain/Laterals
-  Location of Master Site Drainage Capture & Water Quality Treatment
-  Proposed Private Street Easement
-  Site Boundary

3.6.4 Police and Fire Protection

Police service is provided by the Santa Ana Police Department. The department is headquartered at the Civic Center Plaza and has two substations: Westend and the Santa Ana Regional Transportation Public Safety office. The Village will continue to be serviced by the police department.

Fire protection and emergency medical services are provided by Orange County Fire Authority (OCFA). The closest fire station is Fire Station #76 at 950 W. MacArthur Boulevard, approximately 0.75 mile from the Specific Plan area. The circulation system has been designed to provide unobstructed access to the OCFA during emergencies, and roadway/driveway widths, placement of fire hydrants, and installation of automatic sprinkler systems shall be reviewed and approved by OCFA.

3.6.5 Schools and Libraries

The Village falls within the Santa Ana Unified School District boundaries. Public educational services are provided by nearby schools, including Greenville Fundamental Elementary, Thorpe Fundamental Elementary, Jefferson Elementary, McFadden Institute of Technology, and Segerstrom High School. Main Library and Newhope Library are operated by the City of Santa Ana and provide typical book check-out programs as well as technology services such as an e-library, laptop kiosks, printing, and technology skills assistance.



CHAPTER FOUR

DEVELOPMENT REGULATIONS

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4.1 Introduction

This chapter establishes the land use and design regulations for development within the Village Santa Ana Specific Plan area. These regulations include permitted uses, land-use density and intensity, building heights, setbacks, parking requirements, open space, and building form standards. These regulations are consistent with and implement the applicable goals, policies, and requirements for the South Bristol Street Focus Area of the General Plan Land Use Element.

These development regulations should be used in conjunction with Chapter 5, Design Guidelines, in the review and processing of subsequent development applications.

4.2 Permitted Uses

This section establishes the permitted uses in the Specific Plan area. Allowable uses are listed in Table 4-1, Permitted Uses. Definitions of allowed land uses are provided in Appendix A of this Specific Plan. Any use not in Table 4-1 shall be considered prohibited unless deemed to be similar to an allowable use, as interpreted by the Executive Director of the Planning and Building Agency or his/her designee.

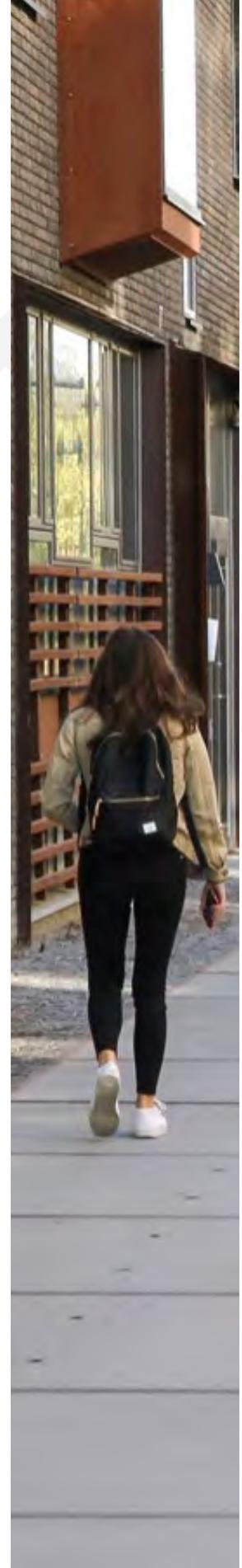


Table 4-1 Permitted Uses

Uses	Permit Type P = Permitted by Right	Notes/Reference
Residential		
Live-work units	P	
Multifamily apartments or condominiums	P	Either a stand-alone residential building or in conjunction with commercial development. Allows for leasing office or property management office, recreation facilities, and other indoor/outdoor common areas.
Senior housing	P	Age restricted, independent living. Subject to Section 4.2.3, Senior Housing and Care Facilities.
Short-Term Rentals	P	
Commercial/Retail/Office		
Adult day care facilities	P	See SAMC Section 41-199.2 for additional regulations.
Alcohol Sales (on-site or off-site consumption)	P	Includes wine tasting, cocktail lounges, bars, and similar uses. See Appendix F.
Animal grooming and day-boarding	P	
Art galleries, art studio, and photography studios	P	
Brewery / Distillery	P	On-site production and sales. See Appendix F.
Cannabis sales	P	See SAMC Chapter 40 for additional regulations.
Childcare facilities	P	
Club/ Community Assembly Facilities	P	See SAMC Section 41.43 for additional regulations.
Congregate care	P	Subject to Section 4.2.3.
Continuum of care	P	Subject to Section 4.2.3.
Convalescent facility	P	Subject to Section 4.2.3.
Experiential museum and science centers	P	
Gymnasiums, fitness, and health clubs	P	
Hotel	P	Includes extended stay.
Indoor recreation and entertainment	P	Includes bowling, escape room, and sports-like activities.
Kiosks/Vendor Carts	P	Subject to Section 4.2.2 B.

Uses	Permit Type P = Permitted by Right	Notes/Reference
Medical and dental offices	P	
Offices - Professional, business, and administrative	P	Includes co-working.
Outdoor recreation	P	Includes movie night, yoga, performing or cultural arts, (per Section 4.2.1).
Pharmacies, excluding drive-through facilities	P	
Restaurants, cafes, and drinking establishments	P	Pursuant to SAMC.
Retail and service uses	P	Includes showrooms.
Theaters	P	Includes ancillary food and alcohol sales. Alcohol sales are subject to SAMC 41-196.
Veterinary clinics and animal hospitals	P	Allows for overnight care.
Other		
Municipal Uses	P	
Parking structure, above or below-ground	P	
Schools, private	P	
Special events and temporary uses	P	Subject to Section 4.2.1.
Telecom	P	

NOTES:

Other uses determined by the Planning and Building Executive Director to be similar in character to the permitted uses listed above, per Chapter 6, Administration and Implementation. See Appendix A for Use Definitions.



4.2.1 Alcohol Sales

Any commercial establishment within the Specific Plan area is permitted to sell alcoholic beverages for either on-site or off-site consumptions provided that the establishment complies with the operational standards listed in Appendix F. Alcoholic beverages sales for on-site consumption are permitted in connection with special events and temporary uses occurring within outdoor open space areas and ground-floor uses of the Village as described in Section 4.2.2 of this Specific Plan, so long as such sales comply with the operational standards listed in Appendix F. No conditional use permit or land use certificate shall be required for the sale of alcoholic beverage sales for either on-site or off-site consumption within the Specific Plan area.

4.2.2 Special Events and Temporary Uses

Special events and a series of regular temporary uses such as concerts and performances, fitness classes, food festivals, art walks/classes, holiday markets, and similar activities are anticipated within the outdoor open space areas and within ground-floor uses of the Village. These activities may also extend to include Village Drive, which will be temporarily closed to vehicle traffic. These uses will be permitted by right in the Specific Plan area. Any special event that necessitates closure of a public street; or is managed by an entity other than the City, Village Association, or Operator shall follow the City's land use certificate process and conditions established by SAMC Section 41-195.5, Temporary Outdoor Activities. Attendance capacity for various areas of the Village will be determined during Development Project Plan Approval.

4.2.3. Outdoor Eating Areas, Food Service/Retail Pavilions, Kiosks, and Vendor Carts

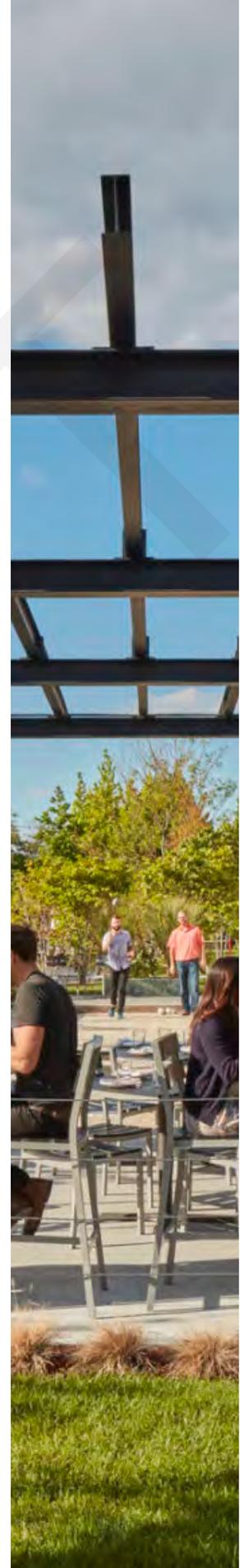
A. Outdoor Eating Areas

- » Outdoor dining is permitted within required setbacks; however, outdoor eating areas shall maintain a minimum sidewalk clearance of four feet between the eating area and any light poles, trees, signposts, news racks, utility boxes, and similar sidewalk obstructions. Umbrellas, awnings, or other shade covering shall also be subject to this sidewalk clearance restriction.
- » There is no minimum or maximum number of tables or chairs permitted under this section, provided that all outdoor dining facilities adhere to the health and safety requirements of the SAMC.
- » Live music or entertainment shall be permitted in any outdoor eating area.
- » Alcoholic beverages may be served in outdoor eating areas of a restaurant, provided the business operating the eating area has obtained and maintains all approvals required by the ABC.
- » No parking requirement shall be assigned to outdoor eating areas.

B. Outdoor Vendor Carts, Kiosks, Food Trucks, and Food Service Pavilions

The operation of (i) attended freestanding, non-motorized vending carts; (ii) fixed kiosks; (iii) mobile food trucks; and (iv) food service pavilions to sell food and beverages, merchandise, advertising, and information services, shall be subject to the following requirements:

- » A master plan that characterizes the location of carts, kiosks, food trucks, and food service pavilions shall be prepared and submitted for approval by the Director. The master plan shall document that these facilities will not impede access to the site by life-safety vehicles, conflict with ADA clear paths of travel, obstruct pedestrian flow across the site, or otherwise present an identifiable health and safety risk.
- » Food service carts, kiosks, food trucks, and pavilions may be provided by the restaurant operators with portable tables and chairs for nonexclusive or exclusive use.
- » Kiosks, vendor carts, booths, or other similar structures, whether temporary or permanent, do not require setbacks.
- » Operator permit licenses per Chapter 26 of the SAMC shall apply.



4.2.4 Senior Housing and Care Facilities

A range of senior housing uses are permitted for the Village Santa Ana.

Senior housing, also known as age-qualified projects, are units restricted to people of a certain age (often starting between 55 and 65 year of age). Such projects may include additional or different recreation facilities than what is conceptually identified in Chapter 3, Section 3.3, *Open Space and Landscape Plan*, of this Specific Plan. Senior housing units are considered independent living units where care is not intended to be provided.

Senior care facilities require a state license, provide shared dining, and employ caretakers such as nurses and other practitioners to care for people with a certain age restriction. These centers may provide a continuum of care, also referred to as senior care centers or senior living communities. Continuum of care centers provide services and amenities to meet the needs of residents as they age in place. Typically, a range of age-restricted units from independent living through skilled nursing are available. Additional definitions for these use types are provided in Appendix A, *Use Definitions*.

4.2.5 Home Occupations

Consistent with SAMC Section 41-192.1, a home occupation is permitted as an accessory use to a residential use, provided that it is conducted in compliance with the regulations of SAMC Section 41.192.2, that a permit has been obtained and remains in effect in accordance with SAMC Sections 41-192.3 through 41.192.5, and that any business license required by SAMC Chapter 21 has been obtained.

4.3 Development Standards

Development standards for buildings, parking, and open space areas that apply to the Village are discussed throughout this section and provided in Table 4-2, Development Standards, and Table 4-3, Parking Standards (below). See Figure 4-1, *Setbacks*, for a depiction of where setback standards apply across the site.

Table 4-2 Development Standards

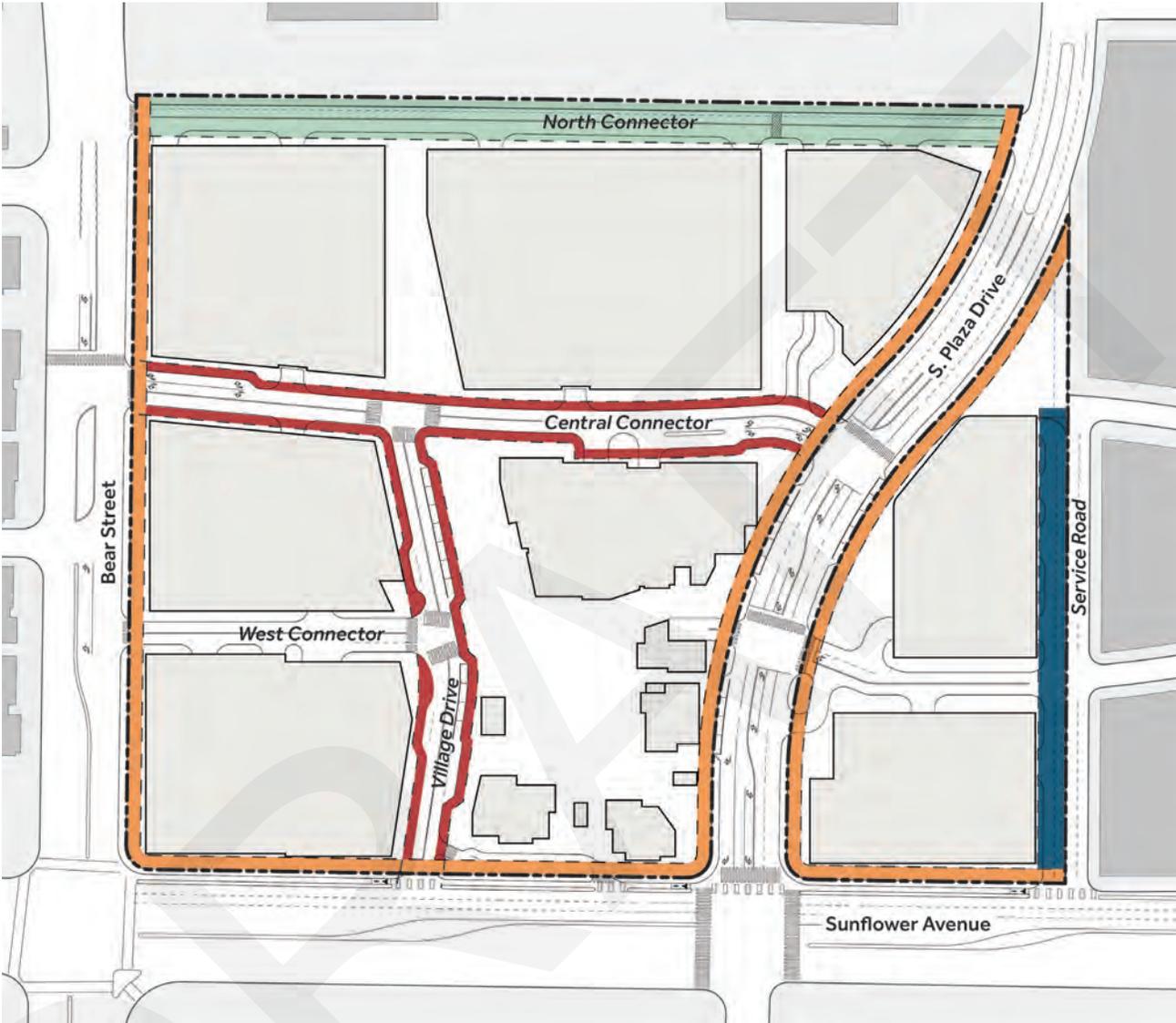
Development Standard	Minimum	Maximum
Floor Area Ratio (FAR)	-	5.0
Density	-	125 dwelling unit/acre
Building Height¹		
Residential	-	25 stories / 315 feet
Mixed Use	-	25 stories / 315 feet
Commercial/Office	1 story	25 stories / 315 feet
Ground-Floor Height²		
Residential	10 feet	-
Mixed Use	12 feet	-
Commercial/Office	12 feet	-
Building Setbacks		
Sunflower Avenue	15 feet from property line	-
Bear Street	15 feet from property line	-
South Plaza Drive	15 feet from property line	-
Village Drive	8 feet from back of curb	-
North Connector	35 feet from property line	-
Central Connector	8 feet from back of curb	-
Service Road (along east boundary)	20 feet from property line	-
Building Separation	per uniform building code	-

Development Standard	Minimum	Maximum
Residential Unit Size^{3, 4}		
Studio	450 square feet	-
One-Bedroom	550 square feet	-
Two-Bedroom	750 square feet	-
Three-Bedroom	950 square feet	-
Open Space		
Private ⁵	90 square feet/unit Minimum 6-foot dimension in each direction	-
Active and Passive ⁶	100 square feet/unit	-

NOTES:

1. Building height is measured above ground and does not include mezzanines, rooftop amenities, or non-habitable projections, see also Appendix A, *Definitions*.
2. Ground Floor Height means a habitable level within a building from finished floor to the bottom of next floor above.
3. Consistent with the City's 2022 Housing Element, Table B-4: *Multiple-Family Residential Development Standards*.
4. Minimum unit size provided in gross square feet.
5. Includes balconies, private common amenities such as podium recreation areas, indoor fitness, business center or work share space for residents, lounge areas.
6. Includes publicly accessible plazas, gardens, fitness loop, parks, outdoor market, and other outdoor amenities

Figure 4-1: Setbacks



Source: PlaceWorks

LEGEND

Building Setbacks

- 8 feet from back of curb
- 15 feet from property line
- 20 feet from property line
- 35 feet from property line
- Site Boundary



4.3.1 Open Space

Open space standards are consistent with the City of Santa Ana’s 2022 Housing Element (Table B-4: Multiple-Family Residential Development Standards). Active and passive open space may include fixed or nonfixed commercial kiosks and pavilions (including utilities that serve them and designated seating areas), vendor carts, booths, outdoor furniture, landscaping, hardscapes, water features, event spaces, lawn areas, or similar elements. These areas can also accommodate events and programming such as farmers market, art walk, yoga, festival, and movie or game night.

The private open space requirement may include up to 20 percent dedicated to common interior recreation spaces, such as a gym/health facility, multipurpose rooms, and shared work areas. See Chapter 3, *Development Plan*, for additional details regarding the locations and various types of open space.

4.3.2 Parking

Parking in the Village will be provided by a combination of underground parking, above-ground structure parking, and on-street parking. Parking for each residential, mixed use, or office building will be satisfied by structured parking—either above- or below-ground. Parking for the Village Plaza uses, including retail, food and beverage, and other uses, will be met by a combination of underground parking and on-street parking adjacent to the plaza. Visitors coming to the retail and restaurant uses will have direct access via stairs and elevator near or within the plaza. Parking standards for the various uses in the Specific Plan are shown in Table 4-3, *Parking Requirements*.

Table 4-3 Parking Requirements

Use	Ratio (Minimum)	Notes
Automobile		
Adult Day Care Facilities	1 space for each 200 square feet of activity area + 1 space for each teacher/supervisor	Per SAMC Section 41-1412.5.
Childcare Facilities	1 space per 8 individuals + 1 space for each teacher/supervisor + 1 passenger loading/unloading zone	Per SAMC Section 41-1412.
Club/Community Assembly Facilities	1 space for each 28 square feet of assembly area	
Gyms, Fitness, and Health Clubs	1 space / 180 square feet of floor area	Excludes locker rooms, shower facilities, utility rooms, and ancillary areas.
Hotel	0.5 spaces/ guest room	Includes ancillary retail, food, service, meeting space.
Office	3 spaces/1,000 square feet	Includes medical and dental.
Residential: Market Rate	1.4 spaces/unit	Includes guest parking.
Retail, Restaurant, and Service Commercial	4 spaces/1,000 square feet	Includes food and beverage service uses.
Senior Care/Assisted Living	0.6 spaces/unit	Includes employee parking.
Theaters	1 space for each 3 fixed seats + 1 space for each 28 square feet of assembly area	Per SAMC Section 41-1372.
Bicycle Parking		
Residential	4 spaces	Per SAMC Section 41-1307.1.
Retail and Service Commercial	5 percent of the required automobile parking but not less than 4 spaces	Per SAMC Section 41-1307.1.

Additional parking provisions:

- » A parking management plan, approved by the Planning Manager is required for shared, joint, or reciprocal parking between uses or buildings, see Chapter 6, Section 6.2.8 for modification authority.
- » For mixed-use buildings where ancillary commercial is provided (i.e., services or small-scale food service of less than 2,500 square feet), the commercial component does not require parking.
- » Paid parking is allowed.
- » Parking lifts or automated parking is permitted subject to review as part of the Development Project Plan Approval process. See Chapter 6, Section 6.2.7.
- » Electric vehicle (EV) charging stations shall be provided in accordance with Title 24 requirements.
- » Application of new technologies shall be approved by the Executive Director per Chapter 6, Section 6.2.4.

- » Parking stalls shall be as provided as required by Section 41 of the SAMC, except as provided below:
 - Standard stalls: 8.5' x 18'
 - Compact stalls: 7.5' x 15' (up to 30 percent of total stalls)

4.3.3 Loading Zone and Space Requirements

Every building in the Village 10,000 square feet or more in size, involving the receipt or distribution, by vehicle of materials or merchandise incidental to carrying on such activity shall be provided with at least 1 space for loading and unloading in a location that does not interfere with travel isles, streets, or drives. Such space shall be of sufficient size to accommodate the largest delivery vehicle likely for the building, and in no case be less than 10 feet by 25 feet in size and clearly designated. A 14-foot minimum height clearance shall also be maintained.

Adult and childcare facilities providing care to 10 or more individuals at any one time shall also provide a passenger loading/unloading zone. An adult/childcare loading zone may be shared and may be located on- or off-street. See Chapter 3, Section 3.4.2, *Loading Zones*, for the proposed location of commercial and passenger loading zones.

4.3.4 Encroachments

Architectural elements such as columns, eaves, overhangs, canopies, balconies, utilities/meters, and stairways/stoops may encroach into required setbacks subject to Development Project Plan Approval (see Chapter 6, *Administration and Implementation*). Encroachments may not interfere with required fire access. See Chapter 5, *Design Guidelines*, for details regarding architectural elements and design features.

4.3.5 Trash Enclosures

Consistent with SAMC, Section 41.623, trash enclosures shall be provided as follows:

- » One trash bin enclosure shall be provided for each commercial establishment and for each residential building; except that for commercial establishments sharing vehicular access and parking in an integrated development, one shared trash bin enclosure may be provided for each group of four or less such establishments, provided that any shared trash bin enclosure shall be maintained as freely accessible to all establishments originally assigned to share in its use.
- » All trash and utility areas shall be screened from public streets and alleys and adjacent properties (see Chapter 5, *Design Guidelines, Section 5.5.2*).
- » Trash and utility areas shall be physically integrated into the project and shall include an off-street loading area of 300 square feet, with no single dimension less than 10 feet (see Chapter 3, Section 3.4.2, *Loading Zones*), and shall not be in required landscape areas, in direct view of streets, or in traffic or pedestrian aisles.



4.3.6 Service Standards

Services, including all utility access, above-ground equipment, trash enclosures, and appurtenances, shall:

- » Be accessible from private drives, private streets, and/or service roads.
- » Be screened within landscaped areas.
- » Provide each residential unit with access to on-site laundry facilities.
- » Provide each residential unit with a minimum of 20 cubic feet private storage.
- » Provide a trash area consistent with Section 4.3.5.

4.3.7 Fences, Walls, and Bollards

Fences, walls, and bollards are permitted within the private right-of-way.

- » Walls shall consist of concrete, stone, brick, tile, or similar type of solid masonry material.
- » Fences shall consist of wrought iron or similar type of material, and/or open weave or mesh combined with plant materials to form an opaque screen.
- » Bollards shall be concrete or steel.
- » Plant materials may be used to provide opaque screening for the interior or exterior of the Village property.



4.4 Signage

Exterior signs shall comply with the provisions of the SAMC unless a master sign program is developed and approved by the Planning Manager. Signage associated with alcohol sales shall be included in the master sign program. The master sign program shall supersede the requirements in SAMC Article XI, On-Premises Signs.

The master sign program shall establish the placement and design criteria for the following sign types, as applicable:

- » Freestanding signs.
- » Wall signs and canopy signs.
- » Projecting signs.
- » Marquee signs.
- » Signs located at canopies or marquees.
- » Major building identification signs.
- » Major building tenant signage.
- » Other sign types as needed.

The master sign program shall include the following information for each sign type:

- » Maximum sign size, sign area, letter size, font style, and color palette.
- » Sign construction material(s) and illumination method or type of lighting.
- » General location requirements.
- » Other architectural or environmental graphic enhancements.

4.5 Public Art

In accordance with Chapter 15 of the City of Santa Ana's Citywide Design Guidelines, the developer or their designee, will prepare a Public Art Plan for approval by the Planning Manager. All forms of original creations of visual art are eligible and may be located within setback areas, paseos/paths, gardens, parks, plazas, etc.

The Public Art Plan should address the following:

- » Describe the qualifying artwork, including artist concept and drawings, if available.
- » Indicate the intended site(s), media, and materials of the artwork(s).
- » Detail the schedule for selection, fabrication, and installation of the artwork.
- » Describe plans for maintenance of the artwork.

4.6 Design Standards

The following additional site, landscape, and architectural design standards apply to all development in the Village and should be used with the design guidelines in Chapter 5, *Design Guidelines*.

4.6.1 Landscape Requirements

The Village shall comply with SAMC Section 41, Article XVI, Water Efficient Ordinance, as well as the following:

- » Parkway shall be provided at a minimum width of three feet.
- » Street-adjacent parkway buffers are required and shall be provided as identified on the Street Sections of Chapter 3, Section 3.4, *Mobility Plan*. These areas are tailored to enhance the pedestrian experience and range from a minimum of 3 feet to a maximum of ten feet.
- » Walls and fencing are allowed along the northern edge of the property within the parkway of the North Connector.
- » See Chapter 5, *Design Guidelines*, for the approved Village street tree, shrub, and plant palette.



4.6.2 Ground-Floor Treatment

For commercial uses, ground-level facades must have a minimum of 50 percent of commercial windows to provide transparency, visual interest, and eyes on the Village Square.

Parking facades will have a 50 percent open façade for natural ventilation achieved via vertical fins, perforated metal, or similar to provide openness while visually shielding the cars.

4.6.3 Building Placement and Form

All residential buildings will have ground-level entrance lobbies that incorporate building amenities, open directly onto internal streets, and provide clear access to shared parking and landscape amenities.

4.6.4 Primary Entrances

Primary entrances of residential and nonresidential uses shall be visible and accessible from the public right-of-way or publicly accessible areas of the project site to the extent feasible.

4.6.5 Lighting

Exterior and landscape lighting for the Village shall comply with the following:

- » Lighting fixtures shall be integrated into the landscape to facilitate pedestrian circulation.
- » Full-cutoff fixtures shall be used in landscape lighting. Excessive lighting shall be avoided as “dark sky” lighting is encouraged to minimize light pollution.
- » Outdoor lighting shall be shielded to prevent glare on adjacent properties.
- » Storefront, restaurant, and primary building entries shall be illuminated.
- » Lighting adequate to minimize police problems shall be provided. The level of illumination shall be an administrative approval made by the Public Works Department.
- » For parking garages and structures, a minimum of 5 foot-candles of illumination shall be provided inside the parking structures, and a minimum of 3 foot-candles for exterior parking areas. Interiors should be painted a light color to transmit light throughout the space.
- » Lighting in accordance with Chapter 8 of the SAMC shall be provided to illuminate the Village during nighttime hours.



CHAPTER FIVE

DESIGN GUIDELINES

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5.1 Introduction

Design plays a critical role in implementing the vision of the Village Specific Plan. The layout of the buildings and open space areas, site and building entrances, internal circulation, the amenities of open space areas, architectural character, and landscape design all contribute to the “sense of place” that uniquely defines the Village Santa Ana. Design guidelines are intended to provide guidance to applicants, architects, landscape architects, engineers, and City staff from conceptual design to implementation.

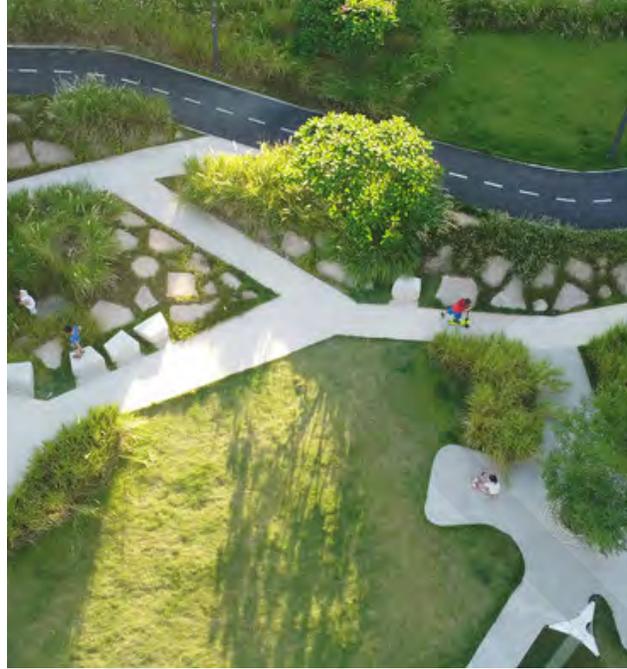
Unlike the objective development standards in Chapter 4, these guidelines are intended to provide general guidance and flexibility in interpretation. Therefore, the word “should” has been used throughout to suggest a preferred approach or recommendation to the various design elements of the project. Prior to submitting an application for Development Project Plan Approval (see Chapter 6), the design guidelines should be reviewed in conjunction with the Development Regulations (Chapter 4) to ensure a complete understanding of what is expected.

The design guidelines address the various aspects of site planning, architecture, and landscape design that help to achieve the guiding principles detailed in Chapter 2: 1) Village in a Park, 2) Warm and Timeless Architectural Design, 3) Diversity of Outdoor Spaces and Activities, 4) An Extension of the Arts, 5) Activated Streets, and 6) Sustainable Foundation. The design guidelines are also consistent with and help to implement the City’s vision for the South Bristol Street Focus Area, which is to transform auto-oriented shopping plazas to walkable urban villages. General Plan objectives for this area include:

- » Capitalize on the success of the South Coast Metro area.
- » Introduce mixed use urban villages and encourage experiential commercial uses that are more walkable, bike friendly, and transit-oriented.
- » Realize an intense, multistory presence along the corridor.

The design guidelines also draw from the Citywide Design Guidelines, while tailoring the recommendations to the Village. The design guidelines in this Specific Plan will supersede the Citywide Design Guidelines.





5.2 Site Planning and Circulation

Site planning is the foundation of any land development project and can determine the success or failure of a project, especially when integrating a mix of uses to create a unique environment. Site planning involves finding the optimal location for structures and open spaces, knitted together by a circulation system for all modes of travel. The following design guidelines are important site planning aspects for the Village.

- » Commercial or hotel loading areas or back-of-house facilities should be screened from residential uses.
- » Maximize visibility of outdoor spaces and building entrances.
- » Visually delineate the separation between public and private spaces with paving, building materials, grade separations, and landscaping.
- » Building placement should create areas that connect, define, and activate open space as usable paseos, plazas, and recreation areas.
- » Pedestrian access into the Village Santa Ana should be accommodated from the surrounding public roads either as sidewalks or paseos.
- » Primary access points to buildings or pedestrian spaces should be clearly defined using accent paving, signage, or other design details.
- » Internal streets should efficiently move vehicles from external roads to parking structures.
- » Traffic-calming measures along internal roads should be implemented, such as special paving materials, bulb-outs, and high-visibility crosswalks.

5.3 Public Safety

- » Designs should implement the concept of natural surveillance, or “eyes on the street,” by maximizing the visibility of people, parking, and building entrances.
- » Proper spacing of light fixtures should provide an adequate level of nighttime lighting for safety.
- » Encourage a mix of uses at the ground level that will provide daytime and nighttime activity in the Village.
- » Design doors, windows, and balconies to open or look onto the Village Square or other outdoor space.

5.4 Landscape

The following design guidelines supplement and build on the standards outlined for commercial applications in SAMC section 41-609. They are provided to ensure quality that will add civic value and reinforce sustainable practices.

5.4.1 Design

- » Landscape architecture should be a key component of the overall project design and should provide value to the pedestrian experience while complying with requirements for vehicular-adjacent conditions.
- » Landscape design should improve the visual appearance, environmental performance, and identity of the project vicinity.

5.4.2 Planting

- » Landscaping should enhance the pedestrian experience, provide shade, and screen undesirable views.
- » Plant material should be of high nursery quality and be consistent with the Village’s design concept, ideas are shown on Figure 5-1, *Plant Material Inspiration*.
- » Plant material should be drought tolerant. Use of native plants is encouraged. The creation of biodiverse habitats should be implemented in planting design.
- » Shrubs and ground covers should be prioritized over turf. High-water-use turf should be avoided in favor of low-water-use mixes.

Figure 5-1: Plant Material Inspiration

BLUFF STRANDS



GRASS STRANDS



**IMMERSIVE
GARDEN
LIVING**



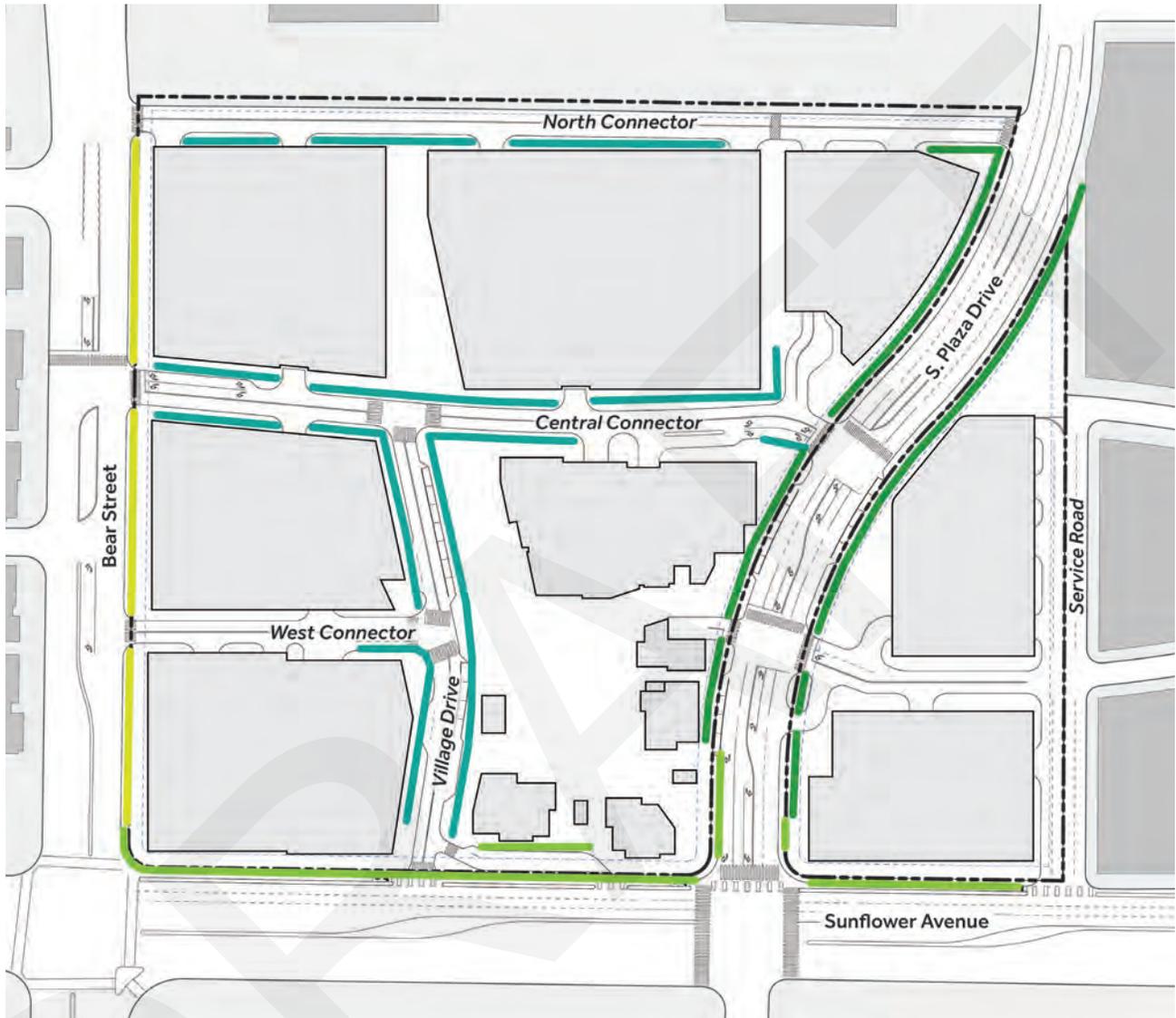
BOUNTY STRANDS

AGAVE STRANDS

Source: RIOS

- » Streetscape planting should draw interest to the project while maintaining visibility for pedestrians and vehicles.
- » Spray irrigation should be restricted to turf and ground-cover areas. Trees and vines should be drip or flood irrigated to reduce water use.
- » A description of the landscape concept and planting zones are provided in Chapter 3, Section 3.3, *Open Space and Landscape Plan*.
- » Street trees will be selected from the Santa Ana Recommended Tree List, with additional trees that are generally considered to be suitable for streetscapes that will bring color and interest to pedestrians. See Figure 5-2, *Street Trees*, and pages 90 to 93 for street tree options for the Village. Additional trees may be added, subject to approval by Public Works.

Figure 5-2: Street Trees



Note: Conceptual site plan for illustrative purposes, subject to change.

Source: RIOS

LEGEND

- Sunflower Ave
Dracaena draco, Ceiba speciosa, Banksia integrifolia, Parkinsonia 'Desert Museum'
- S Plaza Dr
Ulmus parvifolia, Parkinsonia 'Desert Museum', Brachychiton acerifolius
- Bear St
Rhus lancea, Geijera parviflora, Quercus agrifolia
- Internal Streets
Olea europaea 'Swan Hill', Lophostemon confertus

Sunflower Avenue Trees



Banksia integrifolia
Width: 8-25 feet
Height: 10-30 feet



Parkinsonia 'Desert Museum'
Width: 15 - 20 feet
Height: 15 - 20 feet



Dracaena draco
Width: 15 - 25 feet
Height: 15 - 25 feet



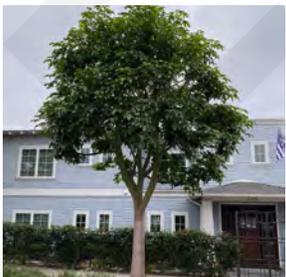
Ceiba speciosa
Width: 20 - 40 feet
Height: 40 - 60 feet



South Plaza Drive Trees



Ulmus parvifolia
Width: 25 - 40 feet
Height: 20 - 55 feet



Brachychiton acerifolius
Width: 20 - 40 feet
Height: max to 60 feet



Parkinsonia 'Desert Museum'
Width: 15 - 20 feet
Height: 15 - 20 feet



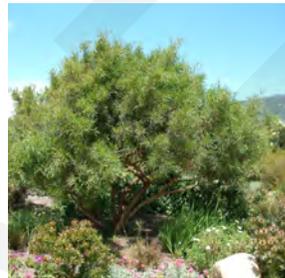
Bear Street Trees



Geijera parviflora
 Width: 15 - 25 feet
 Height: 20 - 30feet



Rhus lancea
 Width: 15 - 25 feet
 Height: 15 - 25 feet



Quercus agrifolia
 Width: 25 - 40 feet
 Height: 40 - 60 feet



Internal Street Trees



Olea europaea 'Swan Hill'
Width: 25 - 30 feet
Height: 25 - 30 feet



Lophostemon confertus
Width: 25 feet
Height: 30 - 45 feet





5.4.3 Hardscape

- » Paving should enhance the pedestrian experience by using a variety of materials that also reinforce site permeability and accessibility.
- » Universal accessibility should be prioritized at all public portions of the project.
- » Special paving treatments should be used at vehicular crossings.
- » Raised planters and walls should have high-quality detailing, be of durable and sustainable materials, and present a complementary appearance.

5.4.4 Furnishings and Amenities

- » Open space should be accompanied by suitable site furniture for the provided amenity to cater to all users.
- » Furnishings should include built-in and free-standing seating; trash, recycling, and compost receptacles; shade structures; bicycle parking; and light poles.
- » Site lighting should accentuate open space for nighttime events, ingress, egress, and plant material illumination.



5.4.5 Public Art

Public art contributes significantly to the public experience and identity of a place. Public art can stimulate creativity and add a unique human quality to the outdoor environment. This section provides guidance for the development, placement, and selection of artwork.

- » Public art associated with the commercial uses should invite participation and interaction, add local meaning, interpret the new community, and/or capture the unique character of the community.
- » The physical setting of public art should be considered in its design. The impact of physical space and nearby structures on public art should also be considered.
- » The placement of free-standing pieces of art should avoid locations where it would compete with a storefront, obstruct a pedestrian path, create a traffic hazard, compete with another piece of art, or adversely impact adjacent buildings.
- » Art should be sited to complement other features, such as a plaza or architectural components that acknowledge and respond to the presence of the art and make the art an integral part of site development.
- » Public art should be constructed using durable materials and finishes such as stone or metal.
- » Murals or bas-reliefs should be used to enhance otherwise blank walls.
- » Exterior artwork(s) should be adequately lit to be clearly visible from sidewalks during evening hours.



5.5 Architecture and Building Layout

The architectural styles for the Village Santa Ana should consider the Southern California environment and indoor/outdoor lifestyle as well as the design aesthetic of the adjacent South Coast Metro area. The internal design and layout of buildings should prioritize convenience, flexibility in use, and separation of private and public areas.

5.5.1 Architectural Styles

- » Each building should represent a single, clear architectural style with materials, roof pitch, window design, and other details consistent with the selected style. The mixing of styles in a single building should be avoided.
- » If there are multiple programmatic uses in a single building, the façade detailing of the building should visually differentiate ground-floor uses from upper-story uses. The base should visually anchor the building to the ground with a treatment of high-quality materials.
- » Four-sided architecture should be implemented. All faces of a building or parking structure (where visible) should receive design treatment.
- » Facade materials and architectural elements should be of good quality, durable, and weather resistant to create long-lasting buildings that can be adaptively reused over time.
- » For the Village Square, a contemporary architectural style is encouraged. Buildings should be complementary yet different—variations could include distinct roof pitches and heights.
- » Ground-floor storefront design should provide a sense of variety and interest through recessed entries, recessed building components, integral display windows, projecting bays, glazing, operable windows, integral signs and sign bands, and other architectural elements. Canopies, overhangs, or awnings are encouraged to provide protection from sun glare and inclement weather.
- » The design of each building should be consistent with and fit the overall design vision for the Village.

5.5.2 Building Massing, Form, and Materials

Building massing is the overall shape and size of a building in terms of scale, height, relationship to exterior spaces, and pedestrian experience. Buildings should create a welcoming public realm and encourage the use of public spaces for leisure, recreation, and entertainment.

- » Rooftop amenity spaces are encouraged for both residential and commercial spaces. Commercial amenity spaces are encouraged to be visible from the ground as an extension of the Village Square.
- » Rooftop mechanical equipment should be screened from view from ground level. The aesthetics of all screening elements should be in keeping with the architectural style.
- » Architectural articulation should be used to indicate entrances and places of interest, frame courtyards and open space, provide visibility between spaces, and allow light and air into interior spaces.
- » Architectural elements such as recessed or projecting balconies, podium deck amenities, or other features that add visual interest, human scale, and character to the community should be incorporated.
- » Building and architectural materials should be high quality and approved for use in the California Building Code, Title 24. Materials are not limited to those listed in the box to the right - new, innovative materials that embrace the architectural style of this Plan are also acceptable and should support Guiding Principle #2, Warm and Timeless Architectural Design.

Architectural materials suitable for all buildings include:

Wood accents

Brick and stone

Metal

High-quality stucco and concrete

Glass and glazing

Colors should be:

Warm

Reminiscent of nature

Contemporary

Figure 5-3: Precedent Images Materials and Colors





- » Colors and materials should feel natural and warm drawing inspiration from Figure 5-3, *Precedent Images Materials and Colors*.
- » Emphasize important building corners and terminating vistas from streets and parks with architectural treatments such as varying the building massing, articulation detail, or applying specialty materials.
- » Screen trash enclosures and utility areas with materials that are compatible in color and finish with the Village buildings and landscape.

5.5.3 Building Design

» Podium:

- Residential lobbies should be clearly visible from surrounding street and drop-off areas and support connecting the building to the surrounding streets and pedestrian areas.
- The lower level should have an architectural language that complements the upper levels while also supporting active commercial uses, including glazing and identity that is appropriate for retail uses.

» Towers:

- Should create a unique identity within the overall development.
- Lobbies should be clearly visible from surrounding street and drop-off areas and support connecting the tower to the surrounding streets and pedestrian areas.
- Lower levels should have an architectural language that complements the upper levels while also supporting active commercial uses, including glazing and identity that is appropriate to retail uses.

- Upper levels should step-back from the podium to create space for building amenities and to provide views of the Village Square or other nearby points of interest.

5.6 Sustainability Features

- » Massing should consider passive solar and wind orientation to maximize natural daylighting and ventilation.
- » Materials and technologies that reduce energy and resource demands are highly encouraged.
- » Window technologies such as sunshades, low-e coatings, and insulated daylighting panels are encouraged to decrease energy costs with cooling buildings.
- » Electric vehicle charging stations should be provided on-site, consistent with City requirements.
- » To reduce resource consumption in manufacturing and transport, locally produced and recycled building construction materials is encouraged.





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5.7 Lighting

- » The site lighting plan for exterior areas should be designed to direct light sources downward and onto the site. Outdoor lighting should be designed and installed to confine direct illumination to the site, and adjacent properties are protected from spillover illumination.
- » Low-wattage security lighting directed away from light-sensitive uses should be utilized and should be shielded to prevent spillover and glare.
- » Streetlights on private roads/drives may be selected based on compatibility with the project architecture.
- » Ground-mounted lighting should be installed in the landscaped medians, entryways, and activity nodes to enhance these features during the nighttime periods.
- » The use of decorative lighting treatments in landscaping, pedestrian activity areas, and nodes and entryways should be implemented. These treatments may also be incorporated into the overall architectural design of the future buildings.
- » If pole lamps are to be used in some areas of the Village, proper spacing of the lamps should provide an adequate level of nighttime lighting.
- » Provisions for seasonal lighting should be considered.
- » Accent lighting, where provided, should complement exterior building colors and materials.
- » Low energy lights, such as LED lights or solar-powered lights, should be used whenever possible.
- » Lighting across Plaza Drive should be used to create a sense of arrival and will be well maintained.

5.8 Parking Design

5.8.1 Structures

- » The design of exterior parking structure elevations may be unique in style and character, incorporating the color of the use, screening, art, green walls, or supergraphics.
- » Stairwells should be designed to match the style or features of the parking structure.
- » The use of technology to increase ease of use is encouraged, including creative wayfinding, stall markers, and digital signs indicating parking availability.
- » Interior parking structure lighting should concentrate light on pedestrian and vehicle aisles and ramps, with spillover lighting adequate to illuminate parking stalls. However, casting of glare and spillover lighting outside the parking structure should be prevented.
- » Interiors should be painted a light color to transmit light throughout the space.

5.8.2 Bicycle Facilities

- » Bicycle parking facilities should not obstruct pedestrian and auto traffic.
- » A physical barricade such as a curb, bollard, or landscaped area between bicycle and vehicle parking areas is encouraged.
- » Bicycle parking should be highly visible, well lit, and securely mounted to the ground.
- » The bicycle space or rack should provide a minimum back-up area of two feet that should be clear of all pedestrian and vehicular paths.



CHAPTER SIX

ADMINISTRATION & IMPLEMENTATION

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6.1 Introduction

This chapter describes the steps and actions to implement and administer the Specific Plan. That is, the implementation process described herein provides the mechanisms for the City of Santa Ana to review and approve development on the Specific Plan site.

6.2 Administration

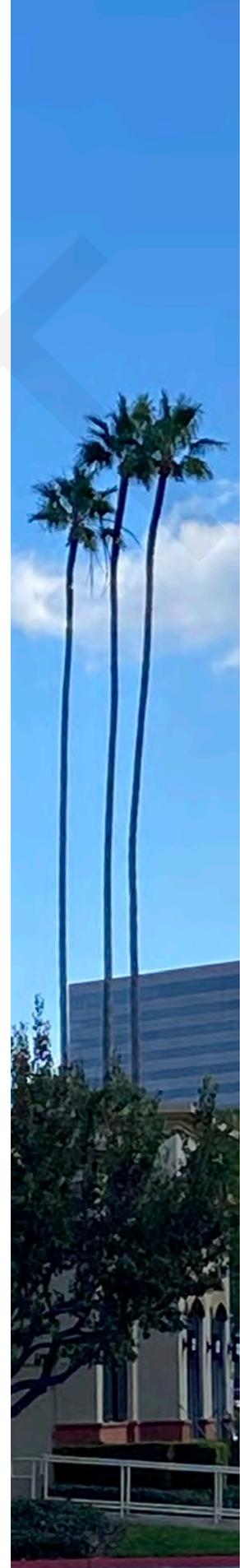
6.2.1 Applicability

The Village Santa Ana Specific Plan was prepared in conformity with California Government Code Title 7, Division 1, Chapter 3, Article 8, Section 65450 et seq.; the City of Santa Ana General Plan; and the City of Santa Ana Municipal Code (SAMC) and adopted by ordinance.

The Village Specific Plan serves as the implementation tool for the zoning for the Specific Plan area. The Specific Plan addresses general provisions, permitted uses, development and design standards, mobility improvements, and community design guidelines. Proposed development plans, tentative tract or parcel maps, and any other development approval pertaining to land or property governed by this Specific Plan must be consistent with this Village Specific Plan. The Specific Plan supersedes the otherwise applicable City of Santa Ana development standards, municipal code, and zoning code and regulations unless otherwise stated herein. Whenever the provisions and development standards herein conflict with the Santa Ana municipal or zoning codes, the provisions of the Village Specific Plan shall take precedence. Where the Specific Plan is silent, the SAMC shall apply, using the context and objectives of the Specific Plan as a guide.

6.2.2 Responsibility and Enforcement

The City of Santa Ana Planning and Building Agency, its Executive Director, or his or her designee shall be responsible for administering the Village Santa Ana Specific Plan in accordance with the provisions of this document, all governing and applicable State and federal laws, the City of Santa Ana’s General Plan, and the SAMC.



6.2.3 Severability

If any portion of this Specific Plan and its regulations are declared invalid or ineffective in whole or in part by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

6.2.4 Interpretation

In the event of ambiguity concerning the content or application of the Village Specific Plan, the ambiguity shall be resolved by the Executive Director or his or her designee. Such interpretations shall be consistent with the vision, goals, policies, purposes, and intent established in this Specific Plan and the General Plan.

6.2.5 Initial Entitlements

Initial entitlements required for development of the Specific Plan area include the following actions to be taken by the City:

- » **Specific Plan.** In accordance with Chapter 27, Article II, Section 27-12, of the SAMC, the Specific Plan shall be submitted to the Planning Commission for its review and recommendation to the City Council. The City Council shall then hold at least one public hearing to consider the Specific Plan. The Specific Plan will be adopted by ordinance, in accordance with Chapter 27, Article II, Section 27-16, of the SAMC. A zone change from SD-48 to SP-[X] is required as part of the Specific Plan adoption.
- » **Subdivision Map.** A Tentative Tract Map (TTM) has been prepared and will be considered by the City concurrently with the review and adoption of this Specific Plan or shortly thereafter.

- » **Development Agreement.** A Development Agreement is a tool for establishing a vested right to proceed with development in conformance with the City of Santa Ana policies and regulations in effect at the time of City approval of the Specific Plan (California Government Code, Section 65846). The City of Santa Ana and the Project Applicant may agree to enter into a Development Agreement pertaining to development and operation of the Village Santa Ana Specific Plan on mutually agreeable terms. The Development Agreement was considered by the City Council concurrently with review and approval of this Specific Plan.

6.2.6 Environmental Review

The Village Santa Ana Specific Plan was adopted in compliance with the requirements of the California Environmental Quality Act (CEQA) (California Public Resources Code Sections 2100 et seq.). Pursuant to Section 15168(c) of the CEQA Guidelines, later activities in the program, such as those implementing the Specific Plan, can be approved as being within the scope of the project covered by the Program EIR, and no new environmental document would be required if the City finds that, pursuant to CEQA Guidelines Section 15162, no subsequent EIR would be required. If a later activity would have significant effects that were not examined in the Program EIR, a new Initial Study would need to be prepared, leading to either an EIR or a Negative Declaration. That later analysis may tier from the Program EIR as provided in CEQA Guidelines Section 15152.

In addition to the CEQA provisions noted above, pursuant to State CEQA Guidelines

Section 15183, later projects that are consistent with the development density established by the Specific Plan and/or General Plan shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.

6.2.7 Development Project Plan Approval

Development projects in the Specific Plan area shall be subject to the City's Development Project Plan Approval process (Chapter 41, Article V, Division 3 of the SAMC) prior to issuance of building permits. The Development Project Plan Approval process is an administrative process, initiated with submittal of an application, to determine consistency with the requirements of this Specific Plan and other applicable regulations. The Director or his or her designee shall approve the application for a project that is consistent with the Village Santa Ana Specific Plan's land uses, development standards, and requirements.

Development Project Plan Approvals for development within the Specific Plan area shall be an administrative decision with no hearing required. The approval shall not require additional Sunshine Ordinance meetings or hearings by the Planning Commission or City Council unless the development also requires a discretionary approval, such as a conditional use permit, variance, or Specific Plan amendment. Development projects include new construction, additions to any existing building of 2,500 square feet or more, tenant improvements involving an intensification or change in occupancy classification, in accordance with Section 41-668 of the SAMC.

6.2.8 Minor Modifications

The Village Santa Ana Specific Plan includes a minor modification process to grant minor relief from development standards (regulations). The Planning and Building Agency Executive Director or his/her designee shall have the authority to approve minor modifications to a development application as defined herein. Minor modifications may include:

- » Adjustments to development regulations by no more than 20 percent (including parking).
- » Adjustments to allowable projections and encroachments if consistent with the uniform building code.
- » Modifications necessary to comply with final Conditions of Approval or mitigation measures when adopted under subsequent action.
- » Addition of information to the Specific Plan (text or map changes) for purposes of clarification provided that the additions do not change the intent of the plan or regulations.
- » Adjustments to the alignment, location, and sizing of utilities and facilities, or a change in utility and/or service provider, as approved by the City's Engineering or Public Works Department.
- » Final adjustments to the Circulation Plan, including roadway alignment, sizing, traffic control techniques, and access locations, as approved by the City's Engineering or Public Works Department.
- » Minor changes to the architectural or landscape design guidelines, as approved by the Planning and Building Agency.

In approving a minor modification, the Executive Director and/or designee must make at least one of the following findings:

- » The minor modification is consistent with the purposes and intent of the Specific Plan.
- » The minor modification is consistent with the purposes and intent of the General Plan.
- » The minor modification will not be detrimental to the public health, safety, and welfare of the existing or future development in the surrounding area.

6.2.9 Amendments to the Specific Plan

Any deviation or relief from the requirements of the Specific Plan that cannot be accommodated by an Interpretation or Minor Modification, according to Sections 6.2.4 and 6.2.8, shall require a Specific Plan Amendment. An amendment shall be required if the following is proposed:

- » Change in the specific plan boundary.
- » An increase or decrease of more than 20 percent in the quantitative development standards.
- » An increase in the maximum buildout of residential units and nonresidential square footage (not including any applicable density bonus units).
- » A change in use not allowed in the Specific Plan that was determined not to be consistent with the Permitted Use (*Chapter 4 Development Regulations, Table 4-1, Permitted Uses*).

An amendment to the Specific Plan shall be processed as specified in Chapter 27, Article II, of the SAMC.

6.2.10 Appeals

An appeal of any determination or decision by the City relating to Village Specific Plan projects shall be made in conformance to the appeal procedures for such determinations as established by the SAMC.

6.2.11 Review Authority

Table 6-1 summarizes the review authority for each type of approval that will or may be required during buildout of the project.

Table 6-1: Review Authority

Reviewing Body	Approval Type
Director, Planning and Building Agency, or Designee	<ul style="list-style-type: none"> • Specific Plan Interpretations • Development Project Plan Approval • Minor Modifications • Master Sign Program and Sign Permits • Art Program • Land Use Certificate (if applicable)
Planning Commission	<ul style="list-style-type: none"> • Conditional Use Permit • Tentative Tract Map(s) • Variance • Appeal of Director Approval/Denial
City Council	<ul style="list-style-type: none"> • Specific Plan Adoption/Amendment • Environmental Certification • Development Agreement Adoption/Amendment • Appeal of Planning Commission Action

6.3 Implementation

6.3.1 Conceptual Phasing Plan

Construction is anticipated to take place in multiple phases, in total anticipated to take upwards of 20 years. Phases have been created to reflect anticipated market conditions and the circulation and underground infrastructure required to support development of each phase. The location of each phase is shown on Figure 6-2, *Conceptual Phasing Plan*. The phases may overlap depending on the length of construction and market factors. The anticipated buildout is described by phase below.

The Village would be developed in a series of five phases. Phase one is anticipated to include 360 residential units and 73,175 square feet of commercial space. Phases two and three would consist of further development of 513 and 177 residential dwelling units respectively. Phase four would include the development of approximately 264 residential dwellings units, 300,000 sf of office space, and the remaining 6,825 sf of commercial space. The final phase five would complete the project with 269 residential units. In total, the Village would include mixed-use commercial and residential, residential only, and commercial only buildings totaling approximately 1,583 residential units (encompassing approximately 1,850,000 square feet of building space), 80,000 square feet of retail space, and 300,000 square feet of office space. Parking would be provided in tower and podium buildings and underground building levels with up to four levels below grade in compliance with the standards of Chapter 4 of this Specific Plan.

6.3.2 Financing and Funding

Private financing mechanisms are expected to fund the buildout of the project over time.

6.3.3 Ownership and Maintenance Responsibilities

The long-term ownership and maintenance responsibilities of roadways, open space areas, utilities, and other on-site amenities are itemized in Table 6-2. Initial financing for the improvements is also included. In general, maintenance of private and quasi-public open space areas, private roads/drives, common open space and landscape areas, signage, and on-site infrastructure will be the responsibility of residential and commercial associations that are formed for the project. Maintenance of existing public roads adjacent to the project will be the responsibility of the City of Santa Ana.

Table: 6-2: Financing, Ownership, and Maintenance

Improvement	Financing	Ownership	Maintenance
Water System (potable and nonpotable)	Developer	Public	City
Sewer System	Developer	Private/Public	Association/City
Stormwater System			
Backbone	Developer	Private/Public	Association/City
BMPs	Developer	Private	Association
Private Internal Streets/Drives	Developer	Private	Association
Public Streets	Developer	City	City
Landscaping on Public Streets Adjacent to Project	Developer	City	City
Landscaping on Private Internal Streets/Drives	Developer	Private	Association
Private and Common Open Space/ Recreation Areas for Residential	Developer	Private	Association
Publicly Accessible Open Space Areas	Developer	Private	Association

6.3.4 Affordable Housing

Applications for residences in Village Santa Ana will comply with the Affordable Housing Opportunity and Creation Ordinance, NS-3019, per the Development Agreement.

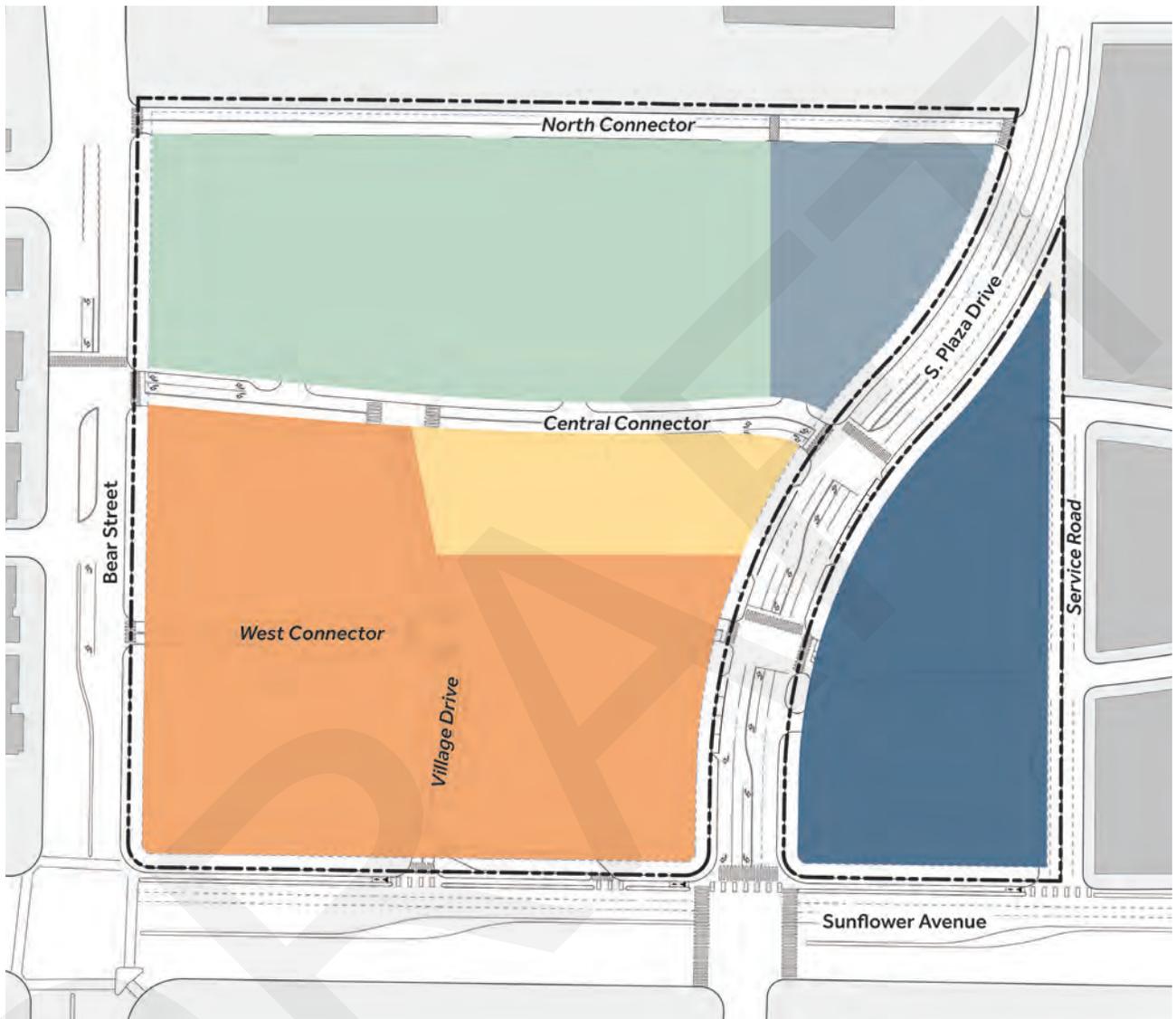
6.3.5 Fiscal Impacts

As required in the General Plan, a Fiscal Impact Study has been conducted to assess the net fiscal impacts associated with the Village. The results of the study are included in Appendix C.

6.3.6 Other Agency Coordination

The Developer will coordinate with the City and Airport Land Use Commission as well as other applicable regulatory agencies regarding approval and implementation of this Specific Plan.

Figure 6-1: Conceptual Phasing Plan



Source: Hines

LEGEND

- Phase 1
- Phase 2
- Phase 3
- Phase 4
- Phase 5
- Site Boundary

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APPENDIX A

DEFINITIONS

Use Definitions

Adult day care facilities: Any facility of any capacity that provides nonmedical care and supervision to adults on less than a 24-hour per day basis.

Alcohol: Includes alcohol, spirits, liquor, wine, beer, brandy, and every liquid or solid containing alcohol, spirits, wine, or beer, and which contains one-half of one percent or more of alcohol by volume and which is fit for beverage purposes either alone or when diluted, mixed, or combined with other substances.

Alcohol Sales (off- site consumption): Selling alcoholic beverages in an unopened container for the consumption off the premises.

Alcohol Sales (on-site consumption): Sales of alcoholic beverages for consumption on the premises on which it was purchased.

Art galleries, art studio, and photography studios: A premises used for the creation, exhibition, collection and/or preservation of works of art for public viewing and sale and may include educational classes.

Cannabis retailer: A facility or premises where cannabis or cannabis products, in any amount or form, either individually or in combination, are offered or provided for retail sale or other sales or transfer to consumers. A cannabis retailer includes an establishment that delivers cannabis as part of a retail sale (subject to Santa Ana Municipal Code, Chapter 40).

Child care facilities: State-licensed facilities that provide nonmedical care and supervision of minor children (under 18 years of age) for periods of less than twenty-four hours.

Clubs/ Community Assembly Facilities: Assembly space for club meetings and other community gathering events, may or may not require membership or entry fee.

Co-Working: Office space used by people who are self employed, work remotely, or perhaps work for multiple employers. Typically this working environment offers shared equipment such as printers, docking stations, and monitors and offers short-term and long-term options to rent/ lease space.

Congregate care: Residential home with a capacity of no more than six (6) beds and offers inpatient services to its residents. Generally, the care that this institution provides is more intense than what a skilled nursing care facility offers but less intense than what a general acute care hospital renders.

Continuum of care: Any facility, place, or building that is maintained and operated to provide for a range of senior care, including independent living, assisted living, congregate care, and convalescent/skilled nursing care. Where/when provided, the development standards required by the California Department of Social Services, Community Care Licensing Division, apply.

Convalescent facility: Residential facilities providing nursing and health-related care as a primary use with in-patient beds.

Fence or wall: A barrier which serves to enclose, divide, or protect an area, or is used to prevent intrusion from the outside of a parcel to the interior of such parcel, exclusive of any such barrier which forms part of a building or structure.

Gymnasiums, fitness, and health clubs: A commercial establishment providing facilities for aerobic exercises, running and jogging, exercise equipment, game courts, swimming facilities, and spa, saunas, showers and lockers. Health and fitness facilities may also provide for instruction programs and classes, such as martial arts, yoga where lockers and showers may be provided.

Home occupations: A business conducted within a dwelling, or within buildings or areas accessory to a dwelling, by the occupant of the dwelling as a secondary use.

Hotel: A facility offering short-term lodging accommodations to the general public and which may include additional facilities and services, such as restaurants, meeting rooms, entertainment, personal services and recreational facilities. Access to the guest rooms shall be through the main lobby of the building. A hotel shall contain more than five (5) guest rooms.

Height: Building height is measured above grade, subterranean floors or levels are not included in the measurement of building height.

Hotel-extended stay: A hotel that contains a kitchen as defined by the California Building Code in guest rooms shall be deemed to be a long-term stay business hotel as defined by the Santa Ana Municipal Code.

Indoor recreation and entertainment: Establishments providing indoor amusement and entertainment services for a fee or admission charge, examples include: bowling alleys, coin-operated amusement arcades, electronic game arcades (video games, etc.), pool, billiards, skating sports (ice, roller, board).

Kiosks/vendor carts: A small structure used for retail sales, food service production and sales, or other information or services. Kiosk and vendor carts may be open fronted or a hut, with at least one side used to provide sales, services or information.

Live-work units: An integrated residence and nonresidential space that has been designed or structurally modified to accommodate joint residential occupancy and work activity.

Medical and dental offices: A facility other than a hospital where medical, mental health, surgical or other personal health services are provided on an outpatient basis, including incidental medical laboratories. Examples of these uses include: medical offices with licensed practitioners or medical specialties, out-patient care facilities, surgical centers, urgent care. Counseling services by non-medical doctors or psychiatrists are included, under "Offices - Professional/Administrative."

Mixed use: Land use designation that allows for multiple, compatible uses, amenities, and utilities enabling people to live, work, play, and shop in one place, which can become a destination.

Multifamily apartments or condominiums: A building or a portion thereof containing two (2) or more dwelling units designed for the independent occupancy of two (2) or more households.

Museum and science centers: A building or part of a building that includes an institution that researches, collects, conserves, interprets and exhibits tangible and intangible heritage. Museum and Science Centers are open to the public and may offer varied experiences for education, enjoyment, knowledge sharing or interactive exhibits focusing on innovation, technology, the environment, and more.

Outdoor recreation: Includes uses, varying in size, providing daily or regularly scheduled recreation-oriented activities for the purpose of enjoyment, amusement, pleasure or learning. Activities take place predominately outdoors or within outdoor structures. Such uses may include athletic fields, extreme sports, batting cages, amusement park, outdoor entertainment, and other similar uses.

Parking structure, above or below-ground: Facilities that provide parking as a principal use.

Pharmacies, excluding drive-through facilities: A store in which drugs and medicines are exposed for sale and sold at retail, or in which prescriptions of licensed physicians and surgeons, dentists, or veterinarians are compounded and sold by a registered pharmacist.

Podium Building: A building that can range in height from two (2) to eight (8) stories/levels that is built with different lower and upper construction types. The lower 1 – 3 stories/levels are concrete structures designed to accommodate commercial uses, parking, building services, residential uses, and the building lobby. Upper stories are either wood or metal framed structures that accommodate residential uses, apartments, and residential amenities.

Professional, business, and administrative offices: Office-type facilities characterized by high employee densities, and occupied by the following:

- Businesses engaged in information processing, and other computer-dependent or telecommunications-based activities.
- Businesses that provide professional services or are engaged in the production of intellectual property.

Restaurants, cafes, and drinking establishments: Includes any facility that involves a business selling food and beverages prepared on the site, for on- or off-premises consumption including: eating establishments where customers are served from a walk-up ordering counter for either on- or off-premises consumption; establishments where customers are served food at tables for on-premises consumption or for take-out; coffee houses/shops; and non-amplified entertainment in a room with food service.

Retail and service uses: Stores and shops selling a variety of merchandise and/or non-medical services as a primary use. Uses include, but are not limited to, nail salons, hair salons, dry cleaners, banks, grocery, animal grooming, convenience stores, clothing and dry goods retailers, etc. Retail also includes showrooms for automobiles, boats, and furniture, and similar goods where inventory is kept off-site or items are made to order.

Schools: A public or private school or that portion of a public or private school which provides facilities for teaching any grade from kindergarten through grade twelve (12).

Short-term rental: Rental or occupancy of an apartment, dwelling, or part of an apartment or dwelling, to visitors where lodging is furnished for a period of 30 consecutive calendar days or less. Hotels/motels shall not be considered a short-term rental.

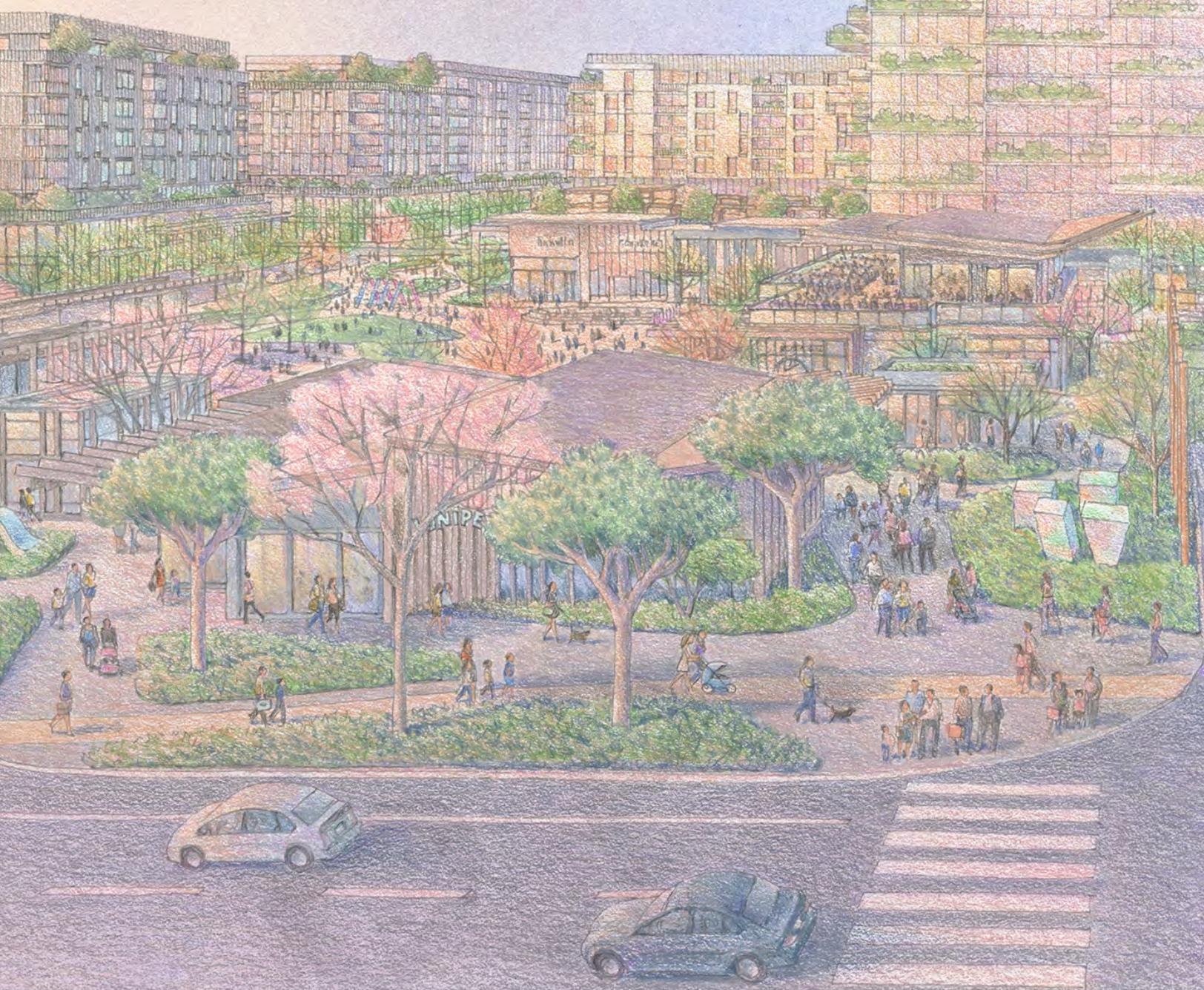
Senior independent living units: Age restricted multi-family apartments or condominiums.

Theaters: A building, part of a building, or outdoor area for housing dramatic performances or stage entertainments, or for showing movies. This definition includes ancillary food and alcohol sales to theater uses.

Tower: A building taller than eight stories/levels that is constructed with high-rise construction systems. The lower 1 – 2 stories/levels accommodate commercial uses, parking, building services, residential uses, and the building lobby. The upper stories/levels accommodate commercial or residential uses.

Veterinary clinics and animal hospitals: A building or part of a building providing the services of a veterinarian and facilities for the medical treatment, examination, surgery, diagnosis, general health care, and observation of domestic animals and birds. This type of facility would allow for overnight stay of animals and birds it is caring for.

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APPENDIX F

ALCOHOL SALES

Alcohol Sales

A. Operational standards for off-sale establishments. Any establishment within the Specific Plan area that sells alcoholic beverages for off-site consumption must comply with the following standards:

1. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee.
2. The applicant shall be responsible for maintaining free of litter the area adjacent to the premises over which he or she has control.
3. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over within twenty-four (24) hours of being applied.
4. The applicant shall post a placard prohibiting loitering, pursuant to California Penal Code ("CPC") Section 602, on the exterior of the premises.
5. It shall be the applicant's responsibility to ensure that CPC Section 602 is complied with at all times that the premises are in operation.
6. The applicant shall at all times utilize an age verification device for all purchases of alcoholic beverages.
7. The owner or manager of the licensed premises shall maintain on the premises a written security policy and procedures manual, that has been approved by the Police Department, addressing at a minimum the following items; handling obviously intoxicated persons; establishing a reasonable ratio of employees to patrons, based upon activity level, in order to monitor beverage sales and patron behavior; handling patrons involved in fighting, arguing or loitering about the building and in the immediate adjacent area that is owned, leased, rented or used under agreement by the licensee(s); verifying age/checking identification of patrons; calling the police regarding observed or reported criminal activity.
8. If there is a marked or noticeable increase in the number of police-related incidents on or near the premises, as such increase may be determined by the chief of police, the applicant may be required to provide state-licensed, uniformed security guards at a number determined by the chief of police.
9. All managers and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages. The California Department of Alcoholic Beverage Control must approve said training program. Records of each employee's successful completion of the certified training program required by this section shall be maintained on the premises of the alcoholic beverage outlet and shall be presented upon request by a representative of the City of Santa Ana.

10. The sales of alcoholic beverages shall be permitted only between the hours of 7:00 a.m. and 12:00/midnight each day of the week.
11. Existing building and required parking must conform to the standards provided in this Specific Plan.
12. Cash register must be visible from the street at all times and shall not be obstructed at any time by temporary or permanent signage.
13. A timed-access cash controller or drop safe must be installed.
14. A silent armed robbery alarm must be installed and operable at all times.
15. Clearly distinguishable height markers shall be installed on the inside door jamb of all doors used by the public to access the store. Horizontal marks, one (1) inch wide by three (3) inch long, in different colors, and in a contrasting color to the background, shall be placed every six (6) inches beginning at five (5) feet and ending at six (6) feet six (6) inches.
16. No person under the age of twenty-one (21) shall sell or deliver alcoholic beverages.
17. A closed-circuit television system shall be provided and approved by the police department and shall be capable of viewing and recording events inside and outside the premises including the parking areas with a resolution which will clearly identify individuals for later identification as follows:
 - a. A minimum of one (1) color camera at each cash register that views the front of a customer, from the waist to the top of the head.
 - b. A minimum of one (1) color camera that views the full length side of a customer at the cash register area.
 - c. A color camera recorder capable of recording events on all cameras simultaneously.
 - d. A tape or disc storage library of recorded cameras kept for a minimum of sixty (60) days.
 - e. If video tape is used, tapes cannot be taped over more than six (6) times.
 - f. An audio recording component that will record sounds occurring at the customer counter.
 - g. An Internet protocol (IP)-based system is required.
19. The operator shall be responsible for obtaining all necessary permits for building tenant and freestanding signs. This shall include any window signs and temporary banners.

B. Operational standards for on-sale establishments. Any establishment within the Specific Plan area that sells alcoholic beverages for on-site consumption must comply with the following standards.

1. A fixed bar or lounge area, maintained for the sole purpose of sales, service, or consumption of alcoholic beverages directly to patrons, is permitted upon the premises.
2. The sales, service, and consumption of alcoholic beverages shall be permitted only between the hours of 7:00 a.m. and 12:00 a.m.
3. It shall be the applicant's responsibility to ensure that no alcoholic beverages are consumed on any property adjacent to the licensed premises under the control of the applicant, with the exception of any patio areas or in connection with permitted special events and temporary uses occurring within outdoor open space areas and ground-floor uses of the Village as described in section 4.2.2 of this Specific Plan.
4. The applicant or an employee of the licensee must be present to monitor all areas of the establishment, including outdoor patios, during all times that alcoholic beverages are being served or consumed.
5. All employees serving alcoholic beverages must complete responsible beverage service training, or an equivalent approved by the State Department of Alcoholic Beverage Control, prior to being able to serve alcoholic beverages to patrons. Evidence of the completion of such training must be maintained on the premises and available for inspection upon request by the city.
6. During those times when patrons are restricted to twenty-one (21) years of age or older, the applicant shall at all times utilize an age verification means or device for all purchases of alcoholic beverages. Such verification of age is not intended to discriminate against patrons based on race, ethnicity or legal status, but only to comply with state law restricting the sale of alcohol to those twenty-one (21) and older.
7. Queuing lines shall be managed in an orderly manner and all disruptive and/or intoxicated patrons shall be denied entry. The business owner, or his designee, shall be responsible for monitoring the queuing lines at all times.
8. The outdoor queuing line shall not block public walkways or obstruct the entry or exit doors of adjacent businesses. Stanchions or barriers must be used to maintain order at all times the queue exceeds twenty-five (25) patrons. All stanchions or barriers located on public property must be approved by the public works agency.
9. Employees and contract security personnel shall not consume any alcoholic beverages during their work shift, except for product sampling for purposes of employee education about new products. Under no circumstances may contract security personnel consume alcoholic beverages during their work shift.
10. Any pool tables, amusement machines or video games maintained on the premises at any time must be reviewed and approved in a security plan submitted to the chief of police.

11. Live entertainment within an establishment's premises, including, but not limited to, amplified music, karaoke, performers and dancing, shall be subject to the issuance of an entertainment permit pursuant to Santa Ana Municipal Code ("SAMC") Chapter 11 — Entertainment, and shall comply with all of the standards contained therein.
12. Neither the applicant, nor any person or entity operating the premises with the permission of the applicant, shall violate the City's adult entertainment ordinance contained in SAMC Section 12-1 and 12-2.
13. The premises shall not be operated as an adult entertainment business as such term is defined in SAMC Section 41-1701.6.
14. The applicant(s) shall be responsible for maintaining free of litter the area adjacent to the premises under the control of the licensee.
15. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted within twenty-four (24) hours of being applied.
16. Existing bona fide eating establishment and required parking must conform to the provisions of this Specific Plan. Prior to issuance of letter of approval to the Alcohol Beverage Control Board, this condition must be complied with.
17. A timed-access cash controller or drop safe must be installed.
18. Install a silent armed robbery alarm.
19. The owner or manager of the licensed premises shall maintain on the premises a written security policy and procedures manual, that has been approved by the police department, addressing at a minimum the following items:
 - a. Procedures for handling obviously intoxicated persons.
 - b. The method for establishing a reasonable ratio of employees to patrons, based upon activity level, in order to ensure adequate staffing levels to monitor beverage sales and patron behavior.
 - c. Procedures for handling patrons involved in fighting, arguing or loitering about the building, and/or in the immediate adjacent area that is owned, leased, rented or used under agreement by the licensee(s).
 - d. Procedures for verifying the age of patrons for purposes of alcohol sales.
 - e. Procedures for ensuring that servers monitor patrons to ensure that their drinking limit/potential intoxication is not exceeded. This procedure should include a description of the procedure the server would use to warn, or refuse to serve, the patron.

- f. Procedures for calling the police regarding observed or reported criminal activity.
 - g. Procedures for management of queuing lines.
 - h. The location and description of any video games proposed to be on the premises.
20. The operator shall be responsible for submitting a detailed outdoor fencing and dining plan where outdoor dining is proposed as part of the business operation. If the proposed dining area or fencing is in the public right-of-way, the applicant must obtain all required permits and approvals from the Public Works Agency.